



**PASSAIC COUNTY PLANNING BOARD
MINUTES OF A REGULAR MEETING
Thursday, October 17th, 2019
930 RIVERVIEW DRIVE, SUITE 200, TOTOWA, NJ 07512**

Chairman Simpson opened the meeting at 5:02 PM and read the notice that the requirements of the Open Public Meeting Act had been met. He then proceeded to the roll call.

MEMBERS PRESENT: Kenneth Simpson, Chairman; Miguel Diaz, Vice Chairman; William Gervens; Steve Martinique; Nakima Redmon; County Traffic Engineer Charles Silverstein (sitting for County Engineer Jonathan Pera, but not voting); Steve Edmond, Alternate (voting for Joseph Metzler); Freeholder Terry Duffy.

OTHERS PRESENT: John Abdelhadi, Planning Board Counsel; Elizabeth Ward, Principal Planner; Jason Miranda, Senior Planner; Salvatore Presti, Assistant Planner.

MINUTES: A motion to adopt the minutes of the October 3rd, 2019 meeting was made by Commissioner Edmond and seconded by Vice Chairman Diaz. The vote was passed unanimously, with Commissioner Gervens, Commissioner Martinique, and Commissioner Redmon abstaining.

PLANNING DIRECTOR'S REPORT: Principal Planner Elizabeth Ward reported on the following initiatives on behalf of Planning Director Michael Lysicatos:

- Data collection for the Paterson-Newark Transit Market Study is almost complete. The next step will be determining market feasibility. The study will be completed by June 2020.
- Planning and Engineering staff attended a kickoff meeting with the consultant team for Phase IV of the Morris Canal Greenway project. This seven-mile segment starts at Pompton Plains Crossroads in Wayne and ends in downtown Little Falls. Preliminary design is expected to be completed by the end of next summer.
- Planning staff, along with the Canal Society of NJ, will be hosting a walk from Woodland Park to Little Falls on Sunday, October 27th. The three-mile walk starts at 11:00 am.
- The Economic Development Division is hosting a seminar on October 18th on "Financing Options for Your Company." On Saturday, October 19th, they are also hosting a Film Production Workshop.

PUBLIC PORTION: Vice Chairman Diaz made a motion to open the meeting to the public which was seconded by Commissioner Redmon. The motion passed unanimously.

Seeing no one present, Freeholder Duffy made a motion to close the public portion that was seconded by Commissioner Martinique. The motion passed unanimously.

DEVELOPMENT REVIEW

SP-19-012 – Englewood Lab – 20 Campus Road, Totowa

Staff explained that this is a previously withheld site plan application in which the applicant has proposed to construct an addition to an existing office and manufacturing facility. The addition will add 16,372 sq. ft. of space to the existing building. Impervious coverage will be reduced by 60 sq. ft., as a portion of the existing paved area will be landscaped. The site has frontage along Totowa Road, which is designated as a Scenic & Historic Byway in the Passaic County Master Plan, in Totowa. The application was withheld by the Board on April 4th, 2019 with 9 conditions. All access to the site is via Campus Road. There are no driveways or curb cuts along Totowa Road and none are proposed. The applicant has proposed to construct new sidewalk along the Totowa Road frontage, including curb ramps across the intersection of Totowa Road and Campus Road. The applicant has not proposed any changes to the existing parking facilities. The applicant has not provided any grading or drainage information outside of the area of the proposed addition. It is not clear how drainage from the site impacts Totowa Road. The applicant has proposed to plant 18 shade trees (Mt. Fuji Flowering Cherry) along the frontage.

There are conditions that must be satisfied before the application can be granted unconditional approval. The plans must note the proposed area of disturbance. The applicant must provide signed and sealed copies of the submitted survey. The curb ramps must be modified to be parallel to the sidewalk, not angled as shown. Prior to the release of any bonds associated with the site plan, the applicant must submit a signed and sealed certification from a professional engineer that the curb ramps have been constructed in accordance with the current version of the USDOT “ADA Standards for Transportation Facilities”.

Vice Chairman Diaz made a motion to grant **conditional approval** to the site plan application. Commissioner Redmon seconded that motion. The motion passed unanimously.

SP-19-023 – Fabric Plus – 840 Main Street, Paterson

This is a previously withheld site plan application in which the applicant has proposed to construct a two-story retail building with ground level parking. There is an existing, one-story building on the site that will be demolished. The application was withheld by the Board on August 22nd, 2019 with 8 conditions. The applicant has proposed three on-site parking spaces. The applicant will widen an existing curb cut along Main Street, which will provide access to the proposed parking spaces. The existing apron will be replaced with a raised driveway apron. The applicant has proposed to replace the existing curbing and sidewalk along the site frontage. The applicant has agreed to prohibit left turns out of the site driveway. The existing cellar door along the frontage of the site is to be removed. The applicant has proposed to construct a second floor overhang of the ground floor parking area, which will be held up by columns. Per the applicant, neither the cantilevered second floor, the columns, nor the footings will encroach on the County right-of-way. The applicant has not verified the presence of any underground vaults. Roof leaders will connect into two on-site seepage pits. An existing connection into the Main Street drainage system is to be removed. The applicant has not proposed any shade trees or other landscaping.

Staff explained that there are conditions that must be met before the application can be granted unconditional approval. The applicant must provide a detail of the proposed footings for the cantilevered second floor and the columns. The applicant must clarify whether there would be any truck traffic to the site, as the driveway as currently proposed would not accommodate trucks. The apron is shown incorrectly. The plans must delineate driveway flares and raised sidewalk as on the detail. The plans must be revised to note that the cellar door is to be removed and filled in during the sidewalk replacement. The applicant must provide the Corridor Enhancement Fee of \$992.00 payable to Passaic County. The stop bar must be a minimum of four feet from the edge of the sidewalk.

The Board discussed the issue of vehicles exiting the site and continuing onto Madison Avenue. It was agreed that the turn should be prohibited by signing and striping. The applicant must provide a right-turn arrow marking, along with the marking "ONLY", at the driveway exit in order to prevent any vehicles from exiting the site onto Madison Avenue.

Commissioner Martinique made a motion to grant **conditional approval** to the site plan application. Commissioner Redmon seconded that motion. The motion passed unanimously.

SP-19-034 – CLC Landscape Design – 58 Ringwood Avenue, Ringwood

Staff explained that this is a previously withheld site plan application in which the applicant has been required to obtain a variance in regards to a change of use. The site is currently being used as an office building and contractor yard, but was formerly used as a garden center. The applicant has not proposed any changes to the site. There are three existing buildings on the property: a two-story commercial office building, and two one-story storage buildings. The site is used for the storage of building materials, including mulch, gravel, and top soil. The application was withheld by the Board on August 8th, 2019 with 5 conditions. Access to the site is provided by an existing driveway along Ringwood Avenue, and the site has 15 existing parking spaces. The applicant has proposed to provide a stop bar, centerline, and "STOP" sign at the entrance of the site driveway. There is no existing or proposed sidewalk along the Ringwood Avenue frontage, which is typical for this section of the corridor. The site does not pose any drainage issues, as it is graded steeply away from the Ringwood Avenue right-of-way. The applicant has requested a waiver to allow the existing driveway grading, of approximately 5%, to remain on the basis that the foundation would need to be raised to accommodate a driveway at the required 2% slope. There is existing landscaping, including two shade trees, along the site's frontage.

There are conditions that must be met before unconditional approval can be granted. The stop bar must be noted as 12 inches and "white". The centerline must be noted as "double yellow". All striping must be noted as thermoplastic. The applicant has requested a waiver to allow the driveway to remain at a 5% slope, as the requested 2% slope would necessitate changes to the foundation. The applicant must provide the Corridor Enhancement Fee of \$3,889.00 payable to Passaic County.

The Board discussed the waiver request. It was agreed to grant a partial waiver of the requirement and allow the applicant to provide a maximum slope of 2% for only the first 20 feet of the driveway extending from the right-of-way line of Ringwood Avenue. The applicant must submit a driveway profile.

Vice Chairman Diaz made a motion to grant **conditional approval** to the site plan application. Commissioner Gervens seconded that motion. The motion passed unanimously.

SP-19-041 – 198-206 Lafayette Apartments – 198-206 Lafayette Street, Paterson

This is a new site plan application in which the applicant has proposed to construct a five-story apartment building. The building will have 26,060 sq. ft. of coverage. There are 72 proposed residential units, with a proposed total of 102 bedrooms. A 72-space parking garage will be located on the ground floor. There is an existing, vacant commercial building on the site, which is to be demolished. The site has frontage along Lafayette Street and is located within Paterson's Fourth Ward Redevelopment Area. The site is adjacent to the proposed 60-unit building at 188 Lafayette Street (SP-19-030), and both developments are adjacent to the proposed Lafayette Street station of the future Hudson-Bergen-Passaic rail system. The applicant has proposed to construct a new curb cut along Lafayette Street, which will provide access to the proposed garage. In addition, the applicant has proposed to install new sidewalk along the Lafayette Avenue frontage. Access doors along the Lafayette Street frontage are proposed to be recessed to avoid swinging into the County right-of-way. The plans show that roof drains will connect into six on-site seepage pits, located beneath the parking garage. There are three Zelkova Serrata trees proposed to be planted along the frontage.

Staff explained that there are conditions that must be met before unconditional approval can be granted. The name and address of the applicant and the owner must be noted on the plans. The plans must be revised to include a graphic scale, in addition to a written scale. The north arrow must have the same orientation for all plan diagrams. The zoning table must be revised to note the existing lot coverage and impervious coverage. Both site plans, this and SP-19-030, must be in the same elevation system. There is a difference of approximately 12-14 inches between the two adjacent properties. The applicant must submit signed and sealed copies of the referenced survey. The curbing must be replaced along the entire Lafayette Street frontage of the site, per County detail. The applicant must provide a raised driveway apron, per County detail. The apron must be shown on the plans as on the detail, with the flared apron and raised sidewalk both delineated. The garage should be set back 5 feet from the right-of-way line, as is being required for the adjacent development. The applicant must note all driveway striping as thermoplastic. The applicant must request an ordinance from the City of Paterson, prohibiting parking for 20 feet to the east and for 20 feet to the west of the site driveway. The applicant must provide two "NO STANDING ANY TIME" signs at both ends of the requested prohibition, with arrows pointing towards the driveway. The applicant must provide a footing detail for the Lafayette Street frontage. The footings of the building must not encroach into the County right-of-way. The applicant must provide drainage calculations. The drainage system must be designed to allow up to 6" of on-site ponding, prior to any runoff or overflow to the County system. The plans must be revised to show top and bottom of curb elevations for the new

curbing along the entire frontage. The applicant must provide a typical section, from the building face to the curb. The site is adjacent to the proposed Lafayette Street station along the proposed Hudson-Bergen-Passaic Light Rail system. A copy of the station plans will be attached for coordination purposes. The applicant must provide the Corridor Enhancement Fee of \$1,982.00 payable to Passaic County.

Vice Chairman Diaz made a motion to **withhold approval** of the site plan application. Commissioner Gervens seconded that motion. The motion passed unanimously.

OLD BUSINESS:

1. SP-18-033 – 955 Allwood Road, Clifton – CONDITIONAL

County Engineer Pera requested that the item be tabled until the next Board meeting, as there is additional information which must be reviewed before a determination can be made.

2. SP-19-030 – 188 Lafayette Street, Paterson – CONDITIONAL

The Board agreed to grant the waiver request to allow the two parking spaces to remain within 20 feet of the County right-of-way, on the condition that the spaces be designated handicapped spaces as shown on the site plan. Vice Chairman Diaz made a motion to **grant** the waiver. Freeholder Duffy seconded the motion. The motion passed unanimously.

3. SP-19-040 – 220 Paterson-Hamburg Turnpike, Wayne - CONDITIONAL

The applicant has requested that the Corridor Enhancement Fee of \$1,000.00 be waived, as a Corridor Enhancement Fee had previously been assessed to and paid by the same applicant for a 2011 application. Commissioner Edmond questioned whether the applicant paid the full fee for the previous application. It was determined that the previously assessed and paid fee of \$4,032.80 accounts for only half of the site's frontage, based on the standard assessment of \$20 per linear feet of frontage along a County roadway. It was discussed that previous minor site plans had been granted reduced fees of \$250.00. The Board agreed that such a reduction was appropriate for this application. Commissioner Edmond made a motion to **reduce** the fee to \$250.00. Vice Chairman Diaz seconded the motion. The motion passed unanimously.

NEW BUSINESS – None.


CORRESPONDENCE

Unconditionally Approved Planning Board Applications

SP-18-051 – The Parke at Hamburg (March Realty) – 910 Paterson-Hamburg Turnpike, Wayne

ADJOURNMENT: Vice Chairman Diaz made a motion to adjourn the meeting at 5:34 PM that was seconded by Commissioner Martinique. The motion passed unanimously.

Respectfully submitted,



Salvatore Presti for MICHAEL LYSICATOS



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

Michael Lysicatos AICP, PP
Director

PLANNING BOARD
TEL (973) 569-4040
FAX (973) 812-3450

October 18th, 2019

Totowa Board of Adjustment
537 Totowa Road
Totowa, NJ 07512

Re: Site Plan Review – Englewood Lab; 20 Campus Road, Totowa; Block 10.01, Lot 6 (Passaic County File Number SP-19-012)

Members of the Board,

The above referenced site plan dated January 18th, 2019, revised as of October 7th, 2019 was reviewed by the Passaic County Planning Board on October 17th, 2019 pursuant to the provisions of the Passaic County Site Plan Resolution.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file of the plans on a standard compact disc media.

This site plan application has been granted **conditional approval** pending receipt in an acceptable form of the following:

1. The name and address of the applicant and the owner must be noted on the plans. **Complete.**
2. All plan diagrams must include a graphic scale, in addition to a written scale. **Complete.**
3. The zoning table must note both the building coverage and impervious coverage. **Complete.**
4. The plans must note the proposed area of disturbance. **Incomplete; the square footage of the area of disturbance must be noted on the plans.**
5. The applicant must submit copies of a topographic survey, signed and sealed by a licensed surveyor. **The applicant must provide signed and sealed copies of the submitted survey.**
6. The applicant must construct sidewalk along the entire Totowa Road frontage of the site. The applicant should provide curb ramps, per ADA standards, on both sides of the intersection with Campus Road. **The curb ramps must be modified to be parallel to the sidewalk, not angled as shown. Prior to the release of any bonds associated with the site plan, the applicant must submit a signed and sealed certification from a**

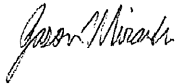
Passaic County Planning Board
Englewood Lab (SP-19-012)
20 Campus Road, Totowa
Block 10.01, Lot 6

professional engineer that the curb ramps have been constructed in accordance with the current version of the USDOT “ADA Standards for Transportation Facilities”.

7. The applicant must provide an exhibit showing how impervious surface will be reduced. **Complete.**
8. The applicant must provide additional landscaping, including shade trees, along the Totowa Road frontage. **Complete.**
9. The applicant must provide the Corridor Enhancement Fee of \$3,203.00 payable to Passaic County. **Complete.**

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

Best regards,



Jason Miranda
Senior Planner

CC: Passaic County Engineer
Robert E. Landel, Esq.

Englewood Lab, Inc.
JR Frank Design, LLC

File



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

PLANNING BOARD

TEL (973) 569-4040
FAX (973) 812-3450

Michael Lysicatos AICP, PP
Director

October 18th, 2019

Paterson Planning Board
125 Ellison Street
Paterson, NJ 07505

Re: Site Plan Review – Fabric Plus; 840 Main Street, Paterson; Block 5605, Lot 3 (Passaic County File Number SP-19-023)

Members of the Board,

The above referenced site plan dated May 17th, 2018, revised as of September 10th, 2019, was reviewed by the Passaic County Planning Board on October 17th, 2019 pursuant to the provisions of the Passaic County Site Plan Resolution.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file for all plans and reports.

This site plan application has been granted **conditional approval** pending receipt in an acceptable form of the following:

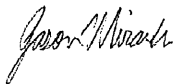
1. The architectural plans must be revised to note the right-of-way line of Main Street. The proposed cantilevered section of the building, the columns, and the footings must all be entirely outside of the County right-of-way. **The applicant must provide a detail of the proposed footings for the cantilevered second floor and the columns.**
2. The submitted turning templates show entering and exiting vehicles colliding with each other. The driveway must be revised to eliminate this conflict. The applicant must clarify whether there would be any truck traffic to the site, as the driveway as currently proposed would not accommodate trucks. **Incomplete; the applicant has not provided any information on expected truck traffic serving the site.**
3. The plans must clearly indicate that all curbing and sidewalk will be replaced. This must be delineated on the plans. **Complete.**
4. The entire site driveway must be covered by the requested raised apron. The existing apron cannot remain. **The apron is shown incorrectly. The plans must delineate driveway flares and raised sidewalk as on the details.**
5. Regarding the crosswalk across Main Street, the ladder bars must be parallel with traffic and the transverse lines must be removed. **Complete.**

Passaic County Planning Board
Fabric Plus (SP-19-023)
840 Main Street, Paterson
Block 5605, Lot 3

6. The drainage calculations are still not acceptable. The applicant is proposing 558 cubic feet, but needs 914 cubic feet of storage. **Complete.**
7. The applicant has proposed to remove the cellar door. The applicant must verify the presence of any vaults underneath the sidewalk. There must be no underground structures in the County right-of-way. **The plans must be revised to note that the cellar door is to be removed and filled in during the sidewalk replacement.**
8. The applicant must provide the Corridor Enhancement Fee of \$992.00 payable to Passaic County. **Incomplete.**
9. **The stop bar must be a minimum of four feet from the edge of the sidewalk.**
10. **The applicant must provide a right-turn arrow marking, along with the marking "ONLY", at the driveway exit in order to prevent any vehicles from exiting the site onto Madison Avenue.**

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

Best Regards,



Jason Miranda
Senior Planner

Cc: Passaic County Engineer
Koestner Associates

Tahqiq Abbasi
File



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

Michael Lysicatos AICP, PP
Director

PLANNING BOARD
TEL (973) 569-4040
FAX (973) 812-3450

October 18th, 2019

Ringwood Board of Adjustment
60 Margaret King Avenue
Ringwood, NJ 07456

Re: Site Plan Review – CLC Landscape Design; 58 Ringwood Avenue, Ringwood; Block 748, Lot 83 (Passaic County File Number SP-19-034)

Members of the Board,

The above referenced site plan dated June 2019 and the survey dated September 11th, 2019 were both reviewed by the Passaic County Planning Board on October 17th, 2019 pursuant to the provisions of the Passaic County Site Plan Resolution.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file of the plans on a standard compact disc media.

This site plan application has been granted **conditional approval** pending receipt in an acceptable form of the following:

1. The plan is incorrectly labeled as a “Property Survey”; it must be labelled as a site plan. **Complete. Please note that the revision date must be updated on future submissions.**
2. The applicant must submit a survey, signed and sealed by a licensed surveyor, that shows the required elements for a site plan, such as:
 - a. Grades/contours. **Complete.**
 - b. Curbing or edge of pavement across the street. **Complete.**
 - c. The property lines of the properties between the site and the Ringwood Avenue right-of-way. **Complete.**
3. A centerline, stop bar, and “STOP” sign must be provided at the driveway. **The stop bar must be noted as 12 inches in width and “white”. The centerline must be noted as “double yellow”. All striping must be noted as thermoplastic.**

Passaic County Planning Board
CLC Landscape Design (SP-19-034)
58 Ringwood Avenue, Ringwood
Block 748, Lot 83

4. A driveway profile, showing a maximum slope of 2% within 50 feet of the right-of-way line, must be provided. **The Board agreed to grant a partial waiver of the requirement and allow the applicant to provide a maximum slope of 2% for only the first 20 feet of the driveway extending from the right-of-way line of Ringwood Avenue. The applicant must still submit a driveway profile.**
5. A Corridor Enhancement Fee will be calculated upon receipt of a survey, based on the linear frontage of the property along Ringwood Avenue. **The applicant must provide the Corridor Enhancement Fee of \$3,889.00 payable to Passaic County.**

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

Best regards,



Jason Miranda
Senior Planner

Cc: Passaic County Engineer

Richard Cording

File



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

PLANNING BOARD

TEL (973) 569-4040

FAX (973) 812-3450

Michael Lysicatos AICP, PP
Director

October 18th, 2019

Paterson Planning Board
125 Ellison Street
Paterson, NJ 07505

Re: Site Plan Review – 198-206 Lafayette Apartments; 198-206 Lafayette Street, Paterson; Block 3202, Lot 9 (Passaic County File Number SP-19-041)

Members of the Board,

The above referenced site plan dated April 10th, 2019 was reviewed by the Passaic County Planning Board on October 17th, 2019 pursuant to the provisions of the Passaic County Site Plan Resolution.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file for all plans and reports.

Approval of this site plan application has been **withheld** pending receipt in an acceptable form of the following:

1. The name and address of the applicant and the owner must be noted on the plans.
2. The plans must be revised to include a graphic scale, in addition to a written scale.
3. The north arrow must have the same orientation for all plan diagrams.
4. The zoning table must be revised to note the existing lot coverage and impervious coverage.
5. Both site plans, this and SP-19-030, must be in the same elevation system. There is a difference of approximately 12-14 inches between the two adjacent properties.
6. The applicant must submit signed and sealed copies of the referenced survey.
7. The curbing must be replaced along the entire Lafayette Street frontage of the site, per County detail (attached).
8. The applicant must provide a raised driveway apron, per County detail (attached). The apron must be shown on the plans as on the detail, with the flared apron and raised sidewalk both delineated.

Passaic County Planning Board
Fabric Plus (SP-19-023)
840 Main Street, Paterson
Block 5605, Lot 3

9. The garage must be set back five feet from the right-of-way line, as is being required for the adjacent development.
10. The plans must note all driveway striping as thermoplastic.
11. The applicant must request an ordinance from the City of Paterson, prohibiting parking for 20 feet to the east and for 25 feet to the west of the site driveway. The distances must be dimensioned on the plans, measured from the ends of the curb cut. The applicant must provide two "NO STANDING ANY TIME" signs at both ends of the requested prohibition, with arrows pointing towards the driveway. All correspondence with the City must be submitted.
12. The applicant must provide a footing detail for the Lafayette Street frontage. The footings of the building must not encroach into the County right-of-way.
13. The applicant must provide drainage calculations.
14. The drainage system must be designed to allow up to 6" of on-site ponding, prior to any runoff or overflow to the County system.
15. The plans must be revised to show top and bottom of curb elevations for the new curbing along the entire frontage.
16. The applicant must provide a typical section, from the building face to the curb.
17. The site is adjacent to the proposed Lafayette Street station along the proposed Hudson-Bergen-Passaic Light Rail system. A copy of the station plans is attached.
18. The applicant must provide the Corridor Enhancement Fee of \$1,982.00 payable to Passaic County.

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

Best Regards,

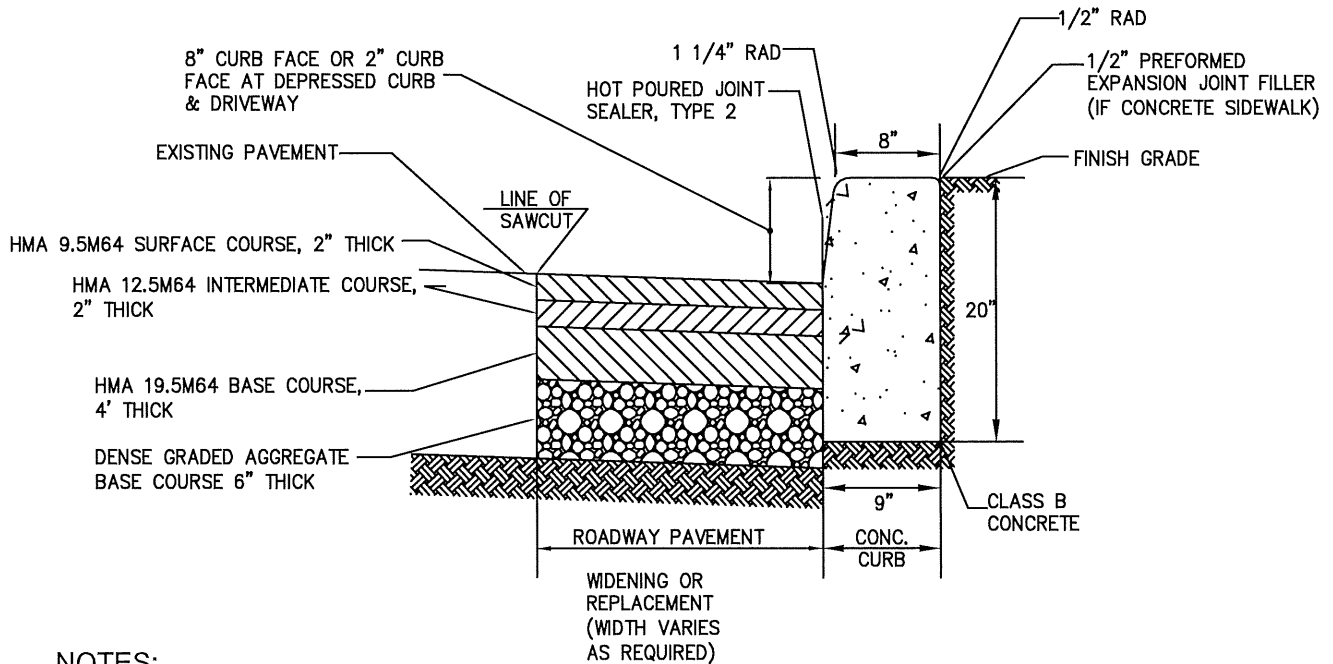


Jason Miranda
Senior Planner

Cc: Passaic County Engineer
A. Michael Rubin, Esq.

JCM Investors 1021, LLC
Matt Evans

File



NOTES:

1. MATERIALS AS INDICATED IN THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2007 EDITION.
2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20' APART AND SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.
3. WHERE PARALLEL PARKING IS PERMITTED ADJACENT TO CURB, CURB MAY BE 9"X18", WITH A 6" CURB FACE.

COUNTY OF PASSAIC
ENGINEERING DIVISION
STANDARD CONSTRUCTION DETAIL

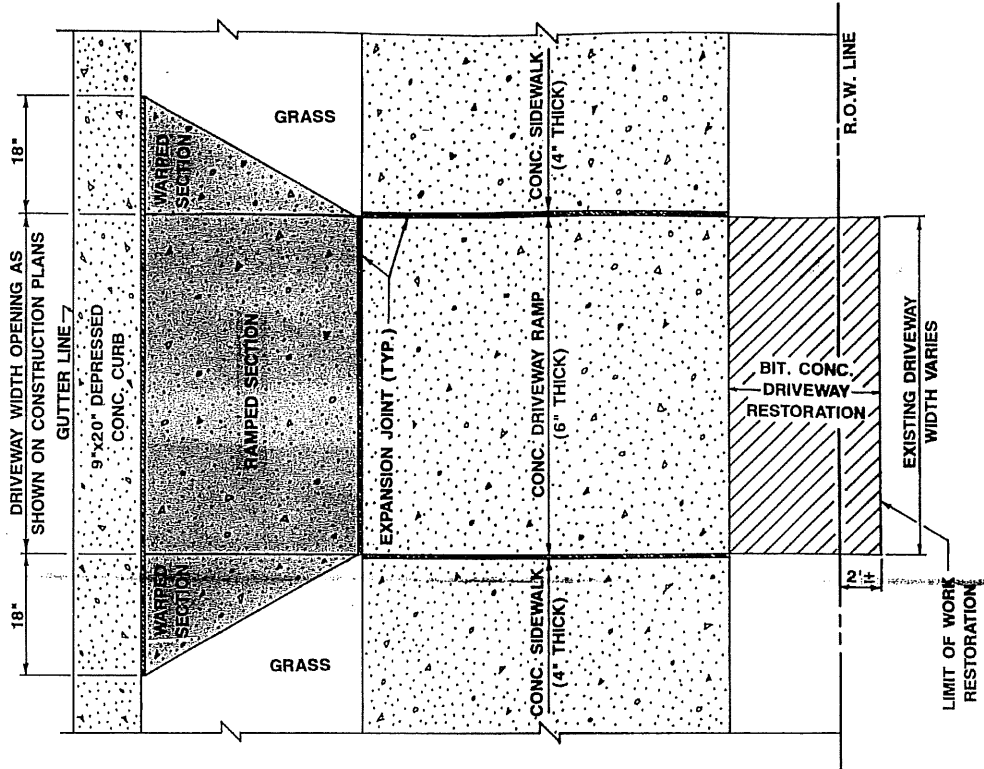
DATE: MAY 2014

DESIGNED BY: T.M.

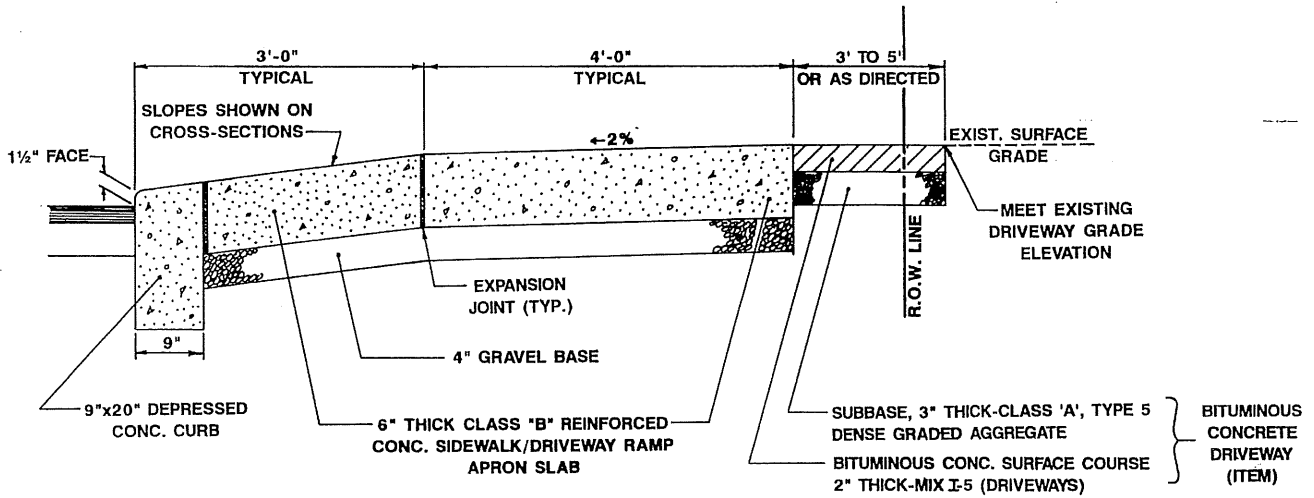
DRAWN BY: D.M.M./S.H.

CONCRETE VERTICAL CURB
AND
ROADWAY PAVEMENT WIDENING

NOT TO SCALE



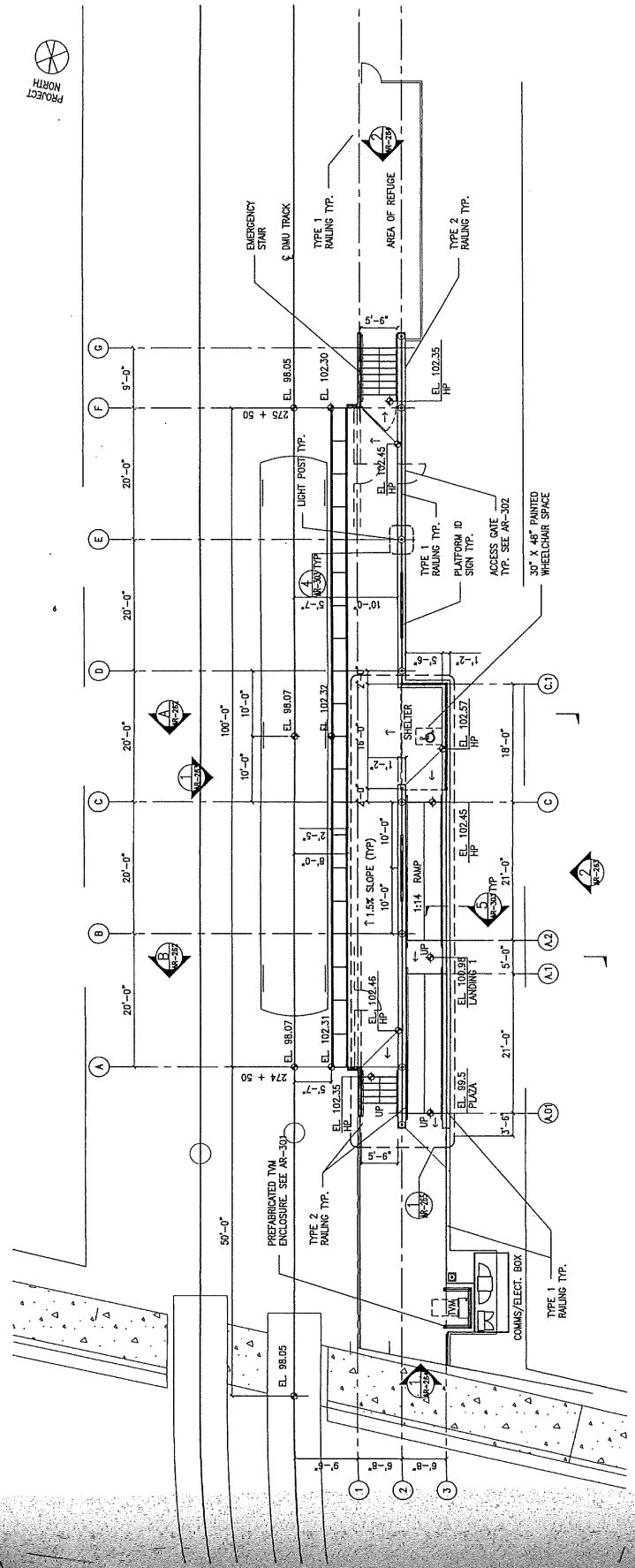
PLAN



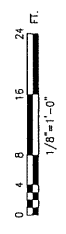
SECTION

SUPPLEMENTARY SIDEWALK AND DRIVEWAY APRON DETAILS

N.T.S.



- NOTES:
1. ALL PLATFORM ELEVATIONS SHALL BE 4'-3" ABOVE TOP-OF-RAIL FOR STATIONS ALONG TRACK, BOTH VERTICALLY AND HORIZONTALLY, IN ACCORDANCE WITH THE NJ TRANSIT DESIGN STANDARDS. ALL ELEVATIONS SHALL BE INDICATED AS TO WHICH COMPONENTS ARE RELATIVE TO THE PLATFORM, TRACK, ROWAY & SIDEWALK ELEVATIONS.
 2. THE STATION PLAZA ELEVATIONS SHALL BE BASED ON PROPOSED AND / OR EXISTING GRADE CROSSING AND SIDEWALK ELEVATIONS AS INDICATED ON THE CIVIL DRAWINGS.
 3. CONTRACTOR SHALL VERIFY ELEVATIONS AND DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY NJ TRANSIT OF ANY DISCREPANCIES BETWEEN THE TRACK, PLATFORM COMPONENTS, INCLUDING THE STAIRS AND RAMPS, AND WITH THE SIDEWALK ELEVATIONS AND PLAZA DATUM LEVELS, PRIOR TO PROCEEDING WITH THE WORK.
 4. THE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:14 IN ACCORDANCE WITH THE NJ GAS. AS PER NOTE 3 ABOVE, IF THERE ARE ANY DISCREPANCIES BETWEEN THE DESIGN ELEVATIONS AND EXISTING DATUM LEVELS, THE CONTRACTOR SHALL NOTIFY NJT AND COORDINATE WITH THE ENGINEER/ARCHITECT FOR DEVELOPING THE DESIGN ADJUSTMENTS.
 5. ALL STAIR TREAD WIDTHS SHALL BE 12 INCHES WIDE, MINIMUM.
 6. THE SHORT DIRECTIONAL ARROW INDICATED ON RAMP/STAR LANDINGS AND APPROACHES () DENOTES A SLOPE OF 1.0% TO 2% MAXIMUM FOR THE PREVENTION OF WATER ACCUMULATION ON WALKING SURFACES.
 7. ALL PLATFORM GROSS SLOPES SHALL BE 1.5% TO DRAIN TOWARDS THE TRACKS.



1 SITE PLAN - LAFAYETTE STREET STATION
1/8" = 1'-0"

	Transit Link Consultants A Joint Venture of Parsons Brinckerhoff and SYSTRA Consulting		DESIGNED BY: A. GANI N.J. LIC. NO.	PROFESSIONAL ENGINEER	PASSAIC-BERGEN PASSENGER SERVICE RESTORATION PROJECT	LAFAYETTE STREET STATION PLATFORM PLAN	SCALE: AS SHOWN	CONTRACT NO.
	150 Olive Road, 7th Floor Little Falls, New Jersey 07424	SYSTRA A Joint Venture of Parsons Brinckerhoff and SYSTRA Consulting	CHECKED BY: L. RIVERA APPROVED BY: J. BOISSIERE	DATE:			DATE:	ISSUE 5702 AR-BUILDING REC'D AR-2511
FINAL DESIGN			REVISIONS					MARCH 31, 2008



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

Michael Lysicatos AICP, PP
Director

PLANNING BOARD
TEL (973) 569-4040
FAX (973) 812-3450

October 18th, 2019

Paterson Board of Adjustment
125 Ellison Street
Paterson, NJ 07505

Re: Site Plan Review – 188 Lafayette Apartments; 188 Lafayette Street, Paterson; Block 3302, Lots 7, 8, 68 & 69 (Passaic County File Number SP-19-030)

Members of the Board,

The above referenced site plan dated July 24th, 2018, revised as of October 2nd, 2019, was reviewed pursuant to the provisions of the Passaic County Site Plan Resolution. On October 17th, 2019, the Passaic County Planning Board granted a waiver allowing the two parking spaces to remain within 20 feet of the County right-of-way on the condition that they are designated as handicapped spaces as shown on the site plan.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file of the plans on a standard compact disc media.

This site plan application has been granted **conditional approval** pending receipt in an acceptable form of the following:

1. The name and address of the applicant and the owner must be noted on the plans.
Complete.
2. The zoning table must be revised to include existing site information, where applicable.
Complete.
3. The square footage of the proposed area of disturbance shall be noted on sheet S-3.
Complete.
4. The Board granted the applicant a waiver to allow a driveway along Lafayette Street, with egress restricted to vehicles turning right. The waiver is contingent on the following conditions:
 - a. The right-turn arrow must be accompanied by the word “ONLY”. All striping at the driveway must be noted as thermoplastic. **Complete.**

Passaic County Planning Board
188 Lafayette Apartments (SP-19-030)
188 Lafayette Street, Paterson
Block 3302, Lots 7, 8, 68 & 69

- b. A raised driveway apron, with raised sidewalk, must be provided and shown on the site plan as per the detail (attached). **Complete.**
 - c. The applicant must provide details on the proposed operation of the garage door, which shall be recessed 5' from the right-of-way line. **Complete.**
 - d. The applicant must request a waiver, with a written justification, for any parking spaces proposed within 20' of the Lafayette Street right-of-way. **Complete.**
 - e. The applicant must verify whether the proposed stacked parking satisfies all local requirements, and provide a detail showing how the stacked parking will operate without an adverse impact to traffic flow on Lafayette Street. **Complete.**
 - f. On-street parking must be prohibited on the westerly side of the driveway, for 20' from the edge of the curb line. "NO STANDING ANYTIME" (R7-4) signs, with arrows, must be provided. The applicant must request the prohibition in writing from the City of Paterson and provide copies of all correspondence. The "NO STANDING ANYTIME" sign proposed on the east side of the driveway is not warranted, due to the proposed turning restriction. **Incomplete; the plan still shows two details. Only the detail for the remaining sign is necessary.**
5. It must be clearly indicated that the curbing and sidewalk will be replaced along the entire frontage of the site in accordance with County detail (attached). **Complete.**
 6. The applicant shall apply for an encroachment permit, which will require the approval of the Board of Chosen Freeholders, in lieu of a maintenance agreement. The permit must include language stating that the applicant is required to maintain the proposed lighting within the right-of-way. **Complete.**
 7. The submitted plans show a doorway with a swing encroaching into the right-of-way. **Complete.**
 8. The applicant must clarify whether the existing cellar door along Lafayette Street is to be removed. If not, the door must be analyzed by a structural engineer and a structural report provided. **Complete.**
 9. The applicant must provide a footing plan. The detail must be labelled as a "footing detail". The applicant shall coordinate with the local construction official on the footing excavation requirements along property lines with adjacent properties. **Complete.**
 10. The applicant must submit drainage calculations. The drainage system in the garage shall be graded to allow on-site ponding up to 6" depth before any stormwater flow into the Lafayette Street drainage system is permitted. **Complete.**

Passaic County Planning Board
188 Lafayette Apartments (SP-19-030)
188 Lafayette Street, Paterson
Block 3302, Lots 7, 8, 68 & 69

11. The plans must show all roof leaders. **Complete.**
12. The applicant must provide a landscaping table, noting the species for all existing and proposed plantings. The plans must include a detail of the proposed planter boxes. The proposed shade tree immediately to the west of the driveway must be relocated outside of the sight triangle of vehicles exiting at the driveway. **Complete.**
13. The applicant must provide the Corridor Enhancement Fee of \$2,253.00 payable to Passaic County. **Incomplete.**
14. **Note: Both site plans, this and SP-19-041, must be in the same elevation system. There is a difference of approximately 12-14 inches between the two adjacent properties, at the property line.**

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

Best regards,



Jason Miranda
Senior Planner

Cc: Passaic County Engineer JCM Investors 1012, LLC
Alan Mariconda, Esq. Matthew Evans File



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

Michael Lysicatos AICP, PP
Director

PLANNING BOARD

TEL (973) 569-4040
FAX (973) 812-3450

October 18th, 2019

Wayne Planning Board
475 Valley Road
Wayne, NJ 07470

Re: Site Plan Review – Proposed Generator (Vitas Inpatient Hospice Unit); 220 Paterson-Hamburg Turnpike, Wayne; Block 2904, Lots 8 & 9 (Passaic County File Number SP-19-040)

Members of the Board,

The above referenced site plan dated May 7th, 2019 was reviewed by the Passaic County Planning Board on September 19th, 2019 pursuant to the provisions of the Passaic County Site Plan Resolution. On October 17th, 2019, the Board voted to reduce the Corridor Enhancement Fee to the specified amount.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file of the plans on a standard compact disc media.

This site plan application has been granted **conditional approval** pending receipt in an acceptable form of the following:

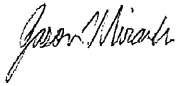
1. The following comments pertain to signing and striping at the Paterson-Hamburg Turnpike driveway:
 - a. The existing “STOP” sign at the Paterson-Hamburg Turnpike driveway is too low. There must be seven (7) feet minimum from the bottom of sign to ground.
 - b. The stop bar and the “STOP” pavement markings at the Paterson-Hamburg Turnpike driveway must be redone with white, thermoplastic paint.
 - c. The existing R3-2 (“NO LEFT TURN”) sign across Paterson–Hamburg Turnpike from the exit driveway must be replaced.
 - d. The sign with text “NO LEFT TURN” that is under the existing “STOP” sign must be replaced with a with a standard R3-2 (“NO LEFT TURN”) sign, on a separate post.
 - e. A new R3-2 (“NO LEFT TURN”) sign for eastbound traffic must be added on the left side of Paterson-Hamburg Turnpike.
 - f. The existing R3-2 (“NO LEFT TURN”) sign for eastbound traffic on the right side of Paterson-Hamburg Turnpike must be replaced with a new R3-2 sign, located 50 feet to the east of the existing sign.

Passaic County Planning Board
Proposed Generator (SP-19-040)
220 Paterson-Hamburg Turnpike, Wayne
Block 2904, Lots 8 & 9

2. The applicant must provide the reduced Corridor Enhancement Fee of \$250.00 payable to Passaic County.

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

Best regards,



Jason Miranda
Senior Planner

Cc: Passaic County Engineer Vitas Healthcare Corporation Atlantic
Michael Cowles L2A Land Design, LLC File