



**PASSAIC COUNTY PLANNING BOARD
MINUTES OF A REGULAR MEETING
Wednesday, October 30th, 2019
930 RIVERVIEW DRIVE, SUITE 200, TOTOWA, NJ 07512**

Chairman Simpson opened the meeting at 5:03 PM and read the notice that the requirements of the Open Public Meeting Act had been met. He then proceeded to the roll call.

MEMBERS PRESENT: Kenneth Simpson, Chairman; Miguel Diaz, Vice Chairman; William Gervens, Commissioner; Joseph Metzler, Commissioner; Jonathan Pera, County Engineer; Steve Edmond, Alternate (voting for Steve Martinique).

OTHERS PRESENT: Shabbir Shehabuddin, filling in for Planning Board Counsel John Abdelhadi (arrived at 5:36 PM); Michael Lysicatos, Planning Director (left at 6:25 PM); Jason Miranda, Senior Planner; Salvatore Presti, Assistant Planner.

MINUTES: A motion to adopt the minutes of the October 17th, 2019 meeting was made by Commissioner Gervens and seconded by Commissioner Metzler. The motion passed unanimously.

PLANNING DIRECTOR'S REPORT: Planning Director Michael Lysicatos reported on the following initiatives:

- Engineering and Planning staff met with the design group to begin planning a section of the Morris Canal Greenway that will sit on the North Jersey District Water Supply Commission pipeline, which will connect Newark-Pompton Turnpike in Wayne to Little Falls and Morris Canal Park. The team held a field meeting, and is currently parsing through what needs to be surveyed and what design will be done moving forward to best utilize the \$3 million in capital funds provided by the North Jersey Transportation Planning Authority. The Browertown Road phase has received authorization for bidding. The third phase which involves a bridge over the Peckman River is approaching bidding.
- A hike along the Morris Canal Greenway through Woodland Park and Little Falls is scheduled for November 2nd.
- The new procedure for passing resolutions for unconditionally approved site plans and subdivisions will be tested in this meeting. In addition, other resolution changes will be presented once staff has finalized them.

PUBLIC PORTION: Commissioner Metzler made a motion to open the meeting to the public which was seconded by Commissioner Gervens. The motion passed unanimously.

Seeing no one present, Commissioner Metzler made a motion to close the public portion that was seconded by Vice Chairman Diaz. The motion passed unanimously.

DEVELOPMENT REVIEW

SP-19-021 – 260-262 Main Apartments – 260-262 Main Street, Paterson

Staff explained that this is a previously withheld site plan application in which the applicant has proposed to renovate the 2nd through 6th floors of an existing building into 21 residential units. The first floor of the building is currently occupied by, and will remain, retail. There will be no on-site parking or curb cuts. The site has frontage along both Main and Market Street and is located in the Downtown Commercial Historic District. The building, known as the Mainmark Building, is a contributing building to the DCHD. The application was withheld by the Board on October 3rd, 2019 with 10 conditions.

There are no changes proposed to the existing sidewalk and curbing along the frontage of the site. The applicant has submitted an encroachment permit application for the canopies, cellar door, and sidewalk vaults. The applicant has submitted a revised structural report detailing the condition of the doors and vault. The plans show all utility connections to Market Street. The plans note that roof drainage will be directly discharged into the combined sewer system. No landscaping has been proposed along the frontage of the site.

There is one remaining condition that must be satisfied before the application can be granted unconditional approval. The applicant must verify the status of the cellar door labelled “obsolete hatch” on the site plan.

Chairman Simpson asked about the encroachment permits for the canopies, cellar door, and sidewalk vaults. Staff responded that encroachment permits had been filed.

Commissioner Gervens made a motion to grant **conditional approval** to the site plan application. Vice Chairman Diaz seconded that motion. The motion passed unanimously.

SP-19-025 – 202-206 Main Apartments – 202-206 Main Street, Paterson

This is a previously withheld site plan application in which the applicant has proposed to renovate the 2nd through 5th floors of an existing building into 20 residential units. The first floor of the building is currently occupied by retail, which will remain. No on-site parking or curb cuts are proposed. The site has frontage along Main Street. Both structures are contributing buildings to the Downtown Commercial Historic District. The application was withheld by the Board on October 3rd, 2019 with 12 conditions.

There are no changes proposed to the existing sidewalk and curbing along the frontage of the site. The applicant has agreed to provide curb ramps at the corner of Main Street and Ellison Street. The applicant has submitted an encroachment permit application for the canopies and sidewalk vault. The applicant has submitted a revised structural report detailing the condition of the existing vault beneath the Main Street sidewalk. The plans indicate that all roof drainage is to be directly discharged into the combined sewer system. No landscaping has been proposed along the Main Street frontage of the site.

Staff explained that there are conditions that must be satisfied before the application can be granted unconditional approval. The curb ramps must be shown parallel with the curb ramps on the opposite legs of the intersection, and not oriented diagonally towards the intersection. The following comments pertain to sheet A-901.0: A) A detail must be provided showing the point loading at the proposed steel post at the underside of the deck slab; B) A detail must be provided for the attachment of the W12x26 beam to the existing beam; C) A detail must be provided for the spall repairs in the concrete slab; D) The location of the ADA ramp, the area of sidewalk to be replaced, and the existing and proposed reinforcement, must all be indicated on the vault plan; E) A detail must be provided for the necessary repairs to the south end of the existing W10x22 beam, as well as a cross-section through the concrete slab between the existing beam and the brick wall; F) A cross-section must be provided through the arch structure, which must show how the adjustable steel posts are attached to the arch vault; G) The grade of the new steel, which shall be painted, must be specified; H) The dimensions of the existing sidewalk vaults, the spacing between the existing beams, and the distance between the vault wall and the new W12x26 beam, must all be indicated; I) The existing reinforcing in the deck slab must be shown; and J) The sheet (A-901.0) must be signed by a licensed professional engineer.

Chairman Simpson requested that all work be completed and certified by a professional engineer prior to the release of any bonds.

Vice Chairman Diaz made a motion to grant **conditional approval** to the site plan application. Commissioner Redmon seconded that motion. The motion passed unanimously.

SP-19-045 – 620 Main Apartments – 620 Main Avenue, Passaic

Staff explained that this is a new site plan application in which the applicant has proposed to renovate an existing two-story building at the corner of Main Avenue and Passaic Street and a three-story building along Passaic Street, adding six (6) apartments to the upper floors. The ground-floor retail is to remain. The site has frontage along Main Avenue in downtown Passaic. The site has no driveway access. There is existing sidewalk and curbing, in good condition along the Main Avenue frontage of the site. The applicant has submitted an encroachment permit for the canopies and cellar door. The applicant has not provided any certification for the cellar door. A new fire escape has been proposed within the Main Avenue right-of-way.

The applicant has not provided sufficient information on roof drainage. No landscaping has been proposed as part of the development. The section of Passaic Street adjacent to the site (although not a County road) is designated as a bicycle and pedestrian priority route in the Passaic County Master Plan, which states that bicycle and pedestrian concerns should be prioritized during the development review process.

There are conditions that must be satisfied before the application can be granted unconditional approval. The licensed professional signing the plans must also provide their seal on all plan sheets. The right-of-way width of Main Avenue must be noted on the plans. There is a discrepancy between the submitted survey and the site plan. The applicant must clearly

indicate any roof leaders and stormwater discharge. The note states that all drainage connects into the combined sewer system, but there is no combined sewer in Passaic. There can be no door swings entering into the County right-of-way. All doors must either be recessed or designed to swing inwards. The applicant must verify that there are no vaults beneath the Main Avenue sidewalk. If there are any, the vaults must be analyzed in a structural report and included in the encroachment permit application. The applicant has submitted an encroachment permit for the canopies and the cellar door. For the cellar door, the applicant must also provide certification from a professional engineer that the door can handle an HS-20 loading. The plans indicate a new fire escape within the Main Avenue right-of-way. For this to be considered, the applicant must provide correspondence from a Passaic Fire Department official stating that there are no other safe options for emergency egress. The applicant will then need to apply for an encroachment permit for the fire escape.

Commissioner Edmond requested that the applicant remove the fire escape from the plans and provide an alternative means of emergency egress from the building. The Board agreed that the fire escape should not be permitted.

Commissioner Metzler made a motion to **withhold approval** of the site plan application. Vice Chairman Diaz seconded that motion. The motion passed unanimously.

19-008 – Dalkilic Subdivision – 782 Alps Road, Wayne

This is a new minor subdivision application in which the applicant has proposed to subdivide an existing lot (28) to create a total of two lots (28 & 28.01). The applicant proposed to demolish the existing single-family dwelling and to construct two single-family dwellings, one on each proposed lot. The property has frontage along Alps Road in Wayne. The dwelling proposed for new Lot 28 will have a driveway along Alps Road. The other proposed dwelling will be access from Warren Place. There is no existing sidewalk along the Alps Road frontage of the property. The property is sloped away from Alps Road at the location of the proposed driveway. The applicant has proposed to plant two (2) red maple trees along the Alps Road frontage.

Staff explained that there are conditions that must be satisfied before the application can be granted unconditional approval. The Alps Road driveway must be a minimum of 16 feet in width. The applicant must provide a County standard on-site turnaround at the Alps Road driveway. The applicant must provide County standard curbing along the Alps Road frontage of the property. The applicant must submit the proposed right-of-way dedication, along with a metes and bounds description, along the Alps Road frontage of the property.

Commissioner Edmond requested that the applicant submit a driveway profile.

Vice Chairman Diaz made a motion to grant **conditional approval** to the minor subdivision application. Commissioner Gervens seconded that motion. The motion passed unanimously.

19-009 – Paterson Parking Authority Subdivision – 142-173 Ward Street, Paterson

Staff explained that this is a new minor subdivision application in which the applicant has proposed to subdivide an existing lot (2) to create a total of two (1 & 2) lots. The site is

currently occupied by the Ward Street parking garage, which is to be re-constructed as part of a related site plan application (SP-19-011). The new garage will be entirely on proposed Lot 1, while proposed Lot 2 will be occupied by surface parking. Both lots will maintain frontage on Market Street. Per the separately submitted site plan application, the surface parking on proposed Lot 2 will be access through Lot 1. Inlets are proposed on Lot 2, which will connect directly to the drainage systems along Market Street and Ward Street.

There are conditions that must be satisfied before the application can be granted unconditional approval. The applicant must provide a cross-easement for access between the two proposed lots. Approval of this subdivision application shall be conditional upon the approval of the related site plan application (SP-19-011).

Commissioner Edmond requested that the subdivision include a deed restriction, prohibiting access to Market Street from proposed Lot 2.

Vice Chairman Diaz made a motion to grant **conditional approval** to the minor subdivision application. Commissioner Gervens seconded that motion. The motion passed unanimously.

Shabbir Shehabuddin arrived at 5:36 PM, filling in for Planning Board Counsel John Abdelhadi.

SP-19-042 – Garden State Honda – 584 Route 3, Clifton

This is a new site plan application in which the applicant has proposed to construct a 3,934 sq. ft., one-story addition to an existing two-story building for use as an automobile dealership. The applicant has proposed to add a service area and a ramp to the upper floor parking area. A 235 sq. ft. entry element addition has also been proposed. The site has frontage along Allwood Road. There is an existing full-access driveway along the Allwood Road frontage of the site. Additional access is provided along the Route 3 frontage. There are gates separating the area accessible from Allwood Road from the remainder of the parking lot. There is existing sidewalk and curbing along the Allwood Road frontage of the site.

The site is sloped towards Allwood Road at the location of the driveway. There are existing inlets at the driveway, connecting into a pipe serving other portions of the site. Roof drainage is proposed to connect into a manhole along Allwood Road. It is not clear if any stormwater is being handled on-site. There are existing shade trees along the Allwood Road frontage of the site. The section of Allwood Road adjacent to the site is designated as a bicycle and pedestrian priority route in the Passaic County Master Plan, which states that bicycle and pedestrian concerns should be prioritized during the development review process.

Staff explained that there are conditions that must be satisfied before the application can be granted unconditional approval. The applicant must submit signed and sealed copies of the referenced survey by Piazza Engineering, dated January 20th, 2014. The following signing and striping must be provided at the Allwood Road driveway: a) A "STOP" sign; b) A 12" stop bar, painted white; c) A double yellow centerline; and d) All striping must be noted as thermoplastic. The applicant must provide information on expected truck traffic to the site, including whether

they will utilize the Allwood Road or Route 3 entrances. The radius at the Allwood Road driveway is not warranted by standard passenger vehicle traffic.

Frank Carlet, attorney for the applicant, was sworn in and testified that the new vehicles will be delivered to another site. Wayne Hall, applicant, was sworn in and testified that one truck would make deliveries to the site, and that individual cars would be driven by employees to other dealership sites as needed. Cars would be delivered via a car carrier truck.

Vice Chairman Diaz made a motion to grant **conditional approval** to the site plan application. Commissioner Gervens seconded that motion. The motion passed unanimously.

SP-19-043 – Clifton Independent Senior Living – 784 Valley Road, Clifton

Staff explained that this is a new site plan application in which the applicant has proposed to construct a two-story senior living facility. The facility will consist of 31 units: four (4) two-bedroom units and 27 one-bedroom units. The existing dwelling is to be demolished. The site will be connected with a previously approved senior living facility on the adjacent Lot 11. A temporary sales trailer has been proposed on the site in advance of the construction of the senior living facility. The site has frontage along Valley Road. The site will be accessed from the facility on Lot 11, which has driveway access along Valley Road. The existing driveway serving Lot 14 will be used to service the temporary sales trailer, but is to be removed during construction. The applicant has not proposed to extend the sidewalk across the frontage of Lot 14.

Stormwater from the parking lot will flow to an inlet, which will connect to the drainage system on Lot 11. Roof drainage will also connect into Lot 11's system. The applicant has only proposed one shade tree along the frontage of the site. The section of Valley Road adjacent to the site is designated as a bicycle and pedestrian priority route in the Passaic County Master Plan, which states that bicycle and pedestrian concerns should be prioritized during the development review process.

There are conditions that must be satisfied before the application can be granted unconditional approval. The zoning table must be revised to include the existing square footage of building and impervious coverage, in addition to the proposed square footage. The applicant must submit signed and sealed copies of the referenced survey by Control Point Associates, dated March 25th, 2019. The applicant must provide a cross-easement agreement, permitting access between the two properties (Lots 11 & 14). The applicant must provide curbing and sidewalk along the entire frontage of the property, connecting to the sidewalk on Lot 11. The applicant must provide drainage calculations. The applicant must provide additional shade trees along the frontage of the site, on the applicant's property. The applicant must provide additional information on the proposed operations of the temporary sales trailer on Lot 14, including a timeline for construction and demolition. It must be indicated when the sales trailer and driveway are to be removed during the construction process. The applicant must submit a developer's agreement including a "sunset" clause requiring the driveway and drainage to be removed after a specified amount of time. For the duration of its use, the sales trailer driveway

must be re-constructed to a standard, two-way driveway: 24 feet in width, a white stop bar, "STOP" sign, and double yellow centerline. Sight distance must be indicated on the plans. The applicant must provide the Corridor Enhancement Fee of \$2,000.00 payable to Passaic County.

Frank Carlet, attorney for the applicant, testified on the proposed sales trailer and site development. Tung-To Lam, engineer for the applicant, was sworn in and testified on the proposed drainage system.

Commissioner Gervens made a motion to grant **conditional approval** to the site plan application. Vice Chairman Diaz seconded that motion. The motion passed unanimously.

SP-19-044 – Totowa Animal Hospital – 819 Riverview Drive, Totowa

This is a new site plan application in which the applicant has proposed to construct a 2,651 sq. ft. addition to an existing animal hospital building. The current kennel and accessory building are to be demolished. The site has frontage along Riverview Drive in Totowa. The applicant has proposed two site driveways, with a one-way circulation pattern: vehicles will enter the site at the southerly driveway and exit at the northerly driveway. Both driveways are located within 10 feet of the side property lines. The applicant has not proposed to construct sidewalk along the frontage of the site.

The site is sloped towards the County right-of-way at both proposed driveways. The applicant has not proposed any trench drains or inlets to prevent stormwater runoff from entering the right-of-way. Roof drainage is shown to connect into two on-site drywells, with an overflow connection into the Riverview Drive drainage system. The applicant has not proposed any shade trees or other landscaping along the frontage of the site. The section of Riverview Drive adjacent to the site is designated as a section of the Morris Canal Greenway in the Passaic County Master Plan, which states that bicycle and pedestrian concerns should be prioritized during the development review process.

Staff explained that there are conditions that must be satisfied before the application can be granted unconditional approval. The boundary between Lot 5 and Lot 6.01 must be correctly labeled. The applicant must submit signed and sealed copies of the referenced survey by Morgan Surveying dated February 27th, 2019. The right-of-way width must be noted on the plans. If the width varies, all variations must be noted in the correct location. The applicant must provide curbing and sidewalk along the entire frontage of the site. The sidewalk must be consistent with the standards of the Morris Canal Greenway Feasibility Study. The walkway from the building exit must connect to the requested sidewalk. The southerly driveway shall be removed and replaced with full-height curbing. The northerly driveway can be designed for two-way traffic. The applicant must provide a raised driveway apron, with sidewalk, at the northerly driveway. The applicant must request a waiver to allow the northerly driveway to remain within 10 feet of the side property line. Any expansion of the driveway shall be on the side away from the property line. The connection into the Riverview Drive drainage system must be removed from the plans. The applicant must address all drainage on-site. There shall be no runoff to the Riverview Drive right-of-way. The plans indicate a drainage easement adjacent to the northerly driveway. It must be clarified what the easement is for and to whom it is

being granted. The applicant must provide shade trees along the frontage of the site. The applicant must provide the Corridor Enhancement Fee of \$1,827.00 payable to Passaic County.

Commissioner Edmond asked about turning restrictions at the northerly driveway, which would be the sole point of ingress and egress. County Engineer Pera responded that County staff do not see issue with there being no turning restrictions at the northerly driveway.

Angelo Onello, engineer for the applicant, was sworn in and testified on the proposed traffic circulation. Dr. Adel Hamdan, the applicant, was sworn in and testified about his business and the frequency of employees and patients entering and exiting the site.

Commissioner Edmond commented that the two parking spaces adjacent to the northerly driveway, which are both within 20 feet of the driveway, can remain if they are designated and signed for use by employees only.

Commissioner Metzler made a motion to **withhold approval** of the site plan application. Commissioner Gervens seconded that motion. The motion passed unanimously.

SP-17-054 – Rooming House – 414 Main Street, Paterson

Staff explained that this is a previously withheld site plan application in which the applicant has proposed to renovate an existing three-story building containing a rooming house and ground floor retail. The applicant has proposed to reduce the number of rooming units in the building from 20 to 14 in order to comply with the City of Paterson's zoning ordinance. Additionally, the applicant has proposed to construct a fire escape and provide new windows along the front of the building. The property has frontage along Main Street in Paterson. The application was withheld by the Planning Board on May 16, 2019 with 5 conditions. The applicant has since met with staff to discuss the outstanding conditions.

The applicant has provided correspondence from the City of Paterson Fire Sub-Code Official stating that the fire escape is the preferred means of emergency egress and that there could not be sufficient emergency egress from the rear of the building. Staff instructed the applicant to submit an encroachment permit application. The applicant has also indicated that the cellar door along Main Street is to be removed. The applicant has agreed to remove the existing sign overhanging the County right-of-way. There are roof leaders connecting to the rear of the building. Staff have inspected the site and verified that there is no roof drainage discharging from the front of the building. No landscaping or shade trees have been proposed along the frontage of the site.

There are conditions that must be satisfied before the application can be granted unconditional approval. The encroachment permit must be revised to include the proposed wall-mounted light fixture. The plans must include a detail of the fixture. It must be noted on the plans that the cellar door is to be removed and filled during sidewalk replacement.

Commissioner Edmond reiterated the Board's stance on fire escapes within the County right-of-way.

Robert Smith, the applicant, was sworn in and testified on the proposed fire escape. Mr. Smith stated that the only other exit from the building would be into an enclosed backyard area, and that he was not able to secure an easement with the surrounding buildings. He also explained that the construction of a secondary concrete stair egress would require rearrangement of the interior of the site.

The Board maintained the position that the fire escape must be removed from the County right-of-way. Staff will conduct further research into the matter to determine what alternative means of emergency egress may be permitted by the City.

Commissioner Metzler made a motion to **withhold approval** of the site plan application. Vice Chairman Diaz seconded that motion. The motion passed unanimously.

Planning Director Michael Lysicatos left the meeting at 6:25 PM.

SP-19-022 – U Metal – 219 Lafayette Street, Paterson

This is a previously withheld site plan application in which the applicant has proposed to reoccupy an existing building. Minor site improvements have been proposed related to its use as a wire and cable processing and recycling center, including new parking lot striping and a new transformer. The existing one-story building will not be altered. The site has frontage along Lafayette Street. The application by the Planning Board on September 19th, 2019 with 5 conditions.

A total of 13 on-site parking spaces are proposed. The applicant has proposed to maintain an existing curb cut along Lafayette Street, which is to be re-constructed as a raised apron. In response to Board concerns, the applicant has proposed a one-way circulation pattern: vehicles will enter the site at Lafayette Street and exit onto Franklin Street. The applicant has submitted truck turning templates showing how the site will accommodate expected truck traffic. The site slopes slightly towards the Lafayette Street right-of-way. The applicant has proposed to install a berm to re-direct stormwater flow to an existing drain and away from the inlets. There are four (4) shade trees, Zelkova Serrata, proposed along Lafayette Street.

Staff explained that there are conditions that must be satisfied before the application can be granted unconditional approval. The applicant must provide signing to enforce the proposed one-way circulation pattern. A two-faced "ONE WAY" sign and two "DO NOT ENTER" signs must be installed at the Lafayette Street driveway. The proposed berm is not sufficient, as stormwater will flow around the berm and enter the roadway. The applicant must provide a trench drain or other facility to capture all runoff and handle on-site. The applicant must provide the Corridor Enhancement Fee of \$3,080.00 payable to Passaic County.

John Tavalacci, a representative of the applicant, was sworn in and testified on the proposed use. Commissioner Metzler asked about the size of trucks entering site. Mr. Tavalacci explained that scrap metal will be delivered by truck; there will be no individual sales from electricians or individual drop offs. All scrap metal deliveries will come from one truck a day.

Vice Chairman Diaz expressed concern over the trucks stalling at the Lafayette Street driveway and blocking the railroad tracks. Matthew Evans, the architect, was sworn in and testified on the proposed circulation from Lafayette Street, through the site, and onto Franklin Street. Vincent Chou, a representative of the applicant, stated that the gate at the driveway is to be open during all business hours and will not cause traffic to be stalled at the driveway. The Board agreed to permit the circulation pattern, on the condition that the applicant provide a note on the site plan stating that the gate will remain open during business hours.

Commissioner Metzler made a motion to grant **conditional approval** to the site plan application. Vice Chairman Diaz seconded that motion. The motion passed unanimously.

SP-19-029 – Prop. Light Industrial/Office – 316-334 Colfax Avenue, Clifton

Staff explained that this is a previously withheld site plan application in which the applicant has proposed to construct a one-story light industrial and office building. The building will have 18,501 sq. ft. of ground-floor light industrial on Lot 17. A 19-space surface parking lot will be located on Lot 16. An existing one-story building and one-and-a-half-story dwelling with an accompanying garage will all be demolished. The site has frontage along Colfax Avenue. The application was withheld by the Planning Board on September 19th, 2019 with 8 conditions.

The applicant will expand an existing curb cut along Colfax Avenue near the western edge of the property, which is currently used as a residential driveway, and close an existing curb cut to the east. Access to parking and loading bays will be via the remaining curb cut, which will be reconstructed as a raised apron, and via a private road located on the adjacent property (Lot 1) to the east. The applicant has submitted copy of an easement permitting use of the driveway on Lot 1. The applicant has provided correspondence stating that the site is not being constructed for a specific tenant and is being designed to accommodate WB-67 vehicles in case such access is demanded by a future tenant. The applicant has provided truck turning templates indicating a one-way circulation pattern for trucks using the site. The applicant has proposed to construct new sidewalk and curbing along the Colfax Avenue frontage, to install a crosswalk across the curb cut for the driveway serving Lot 1, and to construct a curb ramp across from the east leg of the intersection with Kathryn Street.

The site is fairly level at the location of the site driveway. Inlets and roof drainage from the southeasterly portion of the site are to connect into the Colfax Avenue drainage system. Inlets and roof drainage from the northwesterly portion of the site are to connect to a culvert running along the westerly edge of the site. Ownership of the culvert is not indicated, although the applicant has proposed to connect to the culvert on their property. Seven (7) shade trees (Ginkgo Biloba) have been proposed along the Colfax Avenue frontage.

There are conditions that must be satisfied before the application can be granted unconditional approval. The applicant must provide appropriate signing to enforce the proposed circulation. A sign stating "TRUCKS – NO RIGHT TURNS" shall be provided at the site driveway along Colfax Road. The applicant must verify the ownership of the culvert, and provide verification that they have received permission to connect into the culvert. The applicant must provide the Corridor Enhancement Fee of \$5,436.00 payable to Passaic County.

The Board discussed the easement. Commissioner Edmond expressed a concern that the proposed plan could be determined by a judge to be in violation of the easement, and the site ordered to be re-designed without the opportunity for additional Board review. The Board agreed with the concern and requested to view an alternative design of the site.

Commissioner Metzler made a motion to **withhold approval** of the site plan application. Vice Chairman Diaz seconded that motion. The motion passed unanimously.

OLD BUSINESS:

1. SP-18-033 – 955 Allwood Road, Clifton – CONDITIONAL

Staff explained that the applicant has provided a letter from the Clifton Fire Chief expressing concern with several of the Board's comments and requesting they be amended. The Fire Chief has specifically requested that the driveway be widened to 20 feet, that two-way circulation be permitted, and that mountable curbs be permitted.

Based on review of the letter and the referenced fire statutes, staff recommended that the driveway remain at 18 feet in width with mountable curbs permitted to better accommodate fire access. The two-way circulation is unnecessary for fire access, as the restriction would not apply to fire vehicles in the case of an emergency but is necessary for safe circulation of the site by standard vehicle traffic.

The Board agreed with the staff recommendations, but questioned how access to the fire lanes would be restricted. The Board decided that the fire lanes should be restricted with gates, accessible using knox boxes, and should be signed for emergency access only.

A motion to **amend** the previous conditions was made by Chairman Simpson. Commissioner Metzler seconded that motion. The motion passed unanimously.

2. SP-18-050 – Prop. Child Care Facility, Paterson – CONDITIONAL

Staff explained that the applicant has requested a waiver to allow the proposed driveways within 10 feet of the property line. The applicant has provided the requested information on deliveries to the site and fire access. The Paterson Fire Department did not provide any specific comments to the applicant.

The Board agreed to grant the waiver, provided that the driveways can be no closer to the side property lines than as currently shown on the site plan. The driveways must be a minimum of

five feet from the property line on the east side of the property, and six feet from the property line on the west side of the property.

A motion to **grant** the waiver request was made by Vice Chairman Diaz. Commissioner Metzler seconded that motion. The motion passed unanimously.

NEW BUSINESS – None.

CORRESPONDENCE

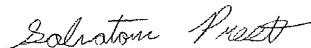
Unconditionally Approved Planning Board Applications

1. SP-18-026; Lakeview Capital Investment; 371 Lakeview Avenue, Clifton; Block 1.27, Lot 13
2. SP-19-037; Mountain View Auto; 96 Newark-Pompton Turnpike, Wayne; Block 1413, Lot 29.02
3. SP-19-039; Mane USA; 60 Demarest Drive, Wayne; Block 746, Lot 1

The Board agreed to table the above listed resolutions to the next meeting on November 14th. The resolutions are to be amended based on internal review. The Board added that the resolutions should be revised to note: a) the professional preparing the plans; b) Right-of-Way Access Permits are only required for new driveways; and c) all amended plans must be re-submitted for review by the Board.

ADJOURNMENT: Vice Chairman Diaz made a motion to adjourn the meeting at 7:13 PM that was seconded by Commissioner Metzler. The motion passed unanimously.

Respectfully submitted,



Salvatore Presti for MICHAEL LYSICATOS



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

Michael Lysicatos AICP, PP
Director

PLANNING BOARD
TEL (973) 569-4040
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October 31st, 2019

Paterson Planning Board
125 Ellison Street
Paterson, NJ 07505

Re: Site Plan Review – 202-206 Main Street Apartments; 202-206 Main Street, Paterson; Block 4501, Lots 20 & 21 (Passaic County File Number SP-19-025)

Members of the Board,

The above referenced site plan dated March 12th, 2019, revised as of October 18th, 2019, was reviewed by the Passaic County Planning Board on October 30th, 2019 pursuant to the provisions of the Passaic County Site Plan Resolution.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file for all plans and reports.

This site plan application has been granted **conditional approval** pending receipt in an acceptable form of the following:

1. The name of the County must be included in the title block. **Complete.**
2. The name and address of the owner and the applicant must be noted on the plans. **Complete.**
3. The zoning table must include the total square footage of impervious coverage, existing and proposed. **Complete.**
4. The applicant must construct two curb ramps at the intersection of Main Street and Ellison Street. Prior to the release of any bonds associated with the site plan, the applicant must submit a signed and sealed certification from a professional engineer that the curb ramps have been constructed in accordance with the current version of the USDOT “ADA Standards for Transportation Facilities”. **The curb ramps must be shown parallel with the curbs ramps on the opposite legs of the intersection.**
5. Main Street is listed as Market Street on the plans. This must be corrected. **Complete.**
6. Ellison Street is listed as Ellis Street on the elevation. This must be corrected. **Complete.**
7. The applicant must provide an elevation plan for the Main Street frontage. **Complete.**

Passaic County Planning Board
202-206 Main Street Apartments (SP-19-025)
202-206 Main Street, Paterson
Block 4501, Lots 20 & 21

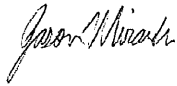
8. The applicant must submit plans showing right-of-way width and physical conditions including utilities, lighting, signals, crosswalks, etc. **Complete.**
9. The applicant must verify the location of any vaults located below the sidewalk along Main Street. If there are any, the sidewalk must be examined by a structural engineer and a structural report issued. **The revised structural report and plan sheet A-901.0 have both been reviewed by the County's structural engineer. The following comments pertain to sheet A-901.0:**
 - a) **A detail must be provided showing the point loading at the proposed steel post at the underside of the deck slab;**
 - b) **A detail must be provided for the attachment of the W12x26 beam to the existing beam;**
 - c) **A detail must be provided for the spall repairs in the concrete slab;**
 - d) **The location of the ADA ramp, the area of sidewalk to be replaced, and the existing and proposed reinforcement, must all be indicated on the vault plan;**
 - e) **A detail must be provided for the necessary repairs to the south end of the existing W10x22 beam, as well as a cross-section through the concrete slab between the existing beam and the brick wall;**
 - f) **A cross-section must be provided through the arch structure, which must show how the adjustable steel posts are attached to the arch vault;**
 - g) **The grade of the new steel, which shall be painted, must be specified;**
 - h) **The dimensions of the existing sidewalk vaults, the spacing between the existing beams, and the distance between the vault wall and the new W12x26 beam, must all be indicated;**
 - i) **The existing reinforcing in the deck slab must be shown; and**
 - j) **The sheet (A-901.0) must be signed by a licensed professional engineer.**
 - k) **Prior to the release of any bonds associated with the site plan, the applicant must submit a signed and sealed certification from a professional engineer that the improvements have all been completed per the Board's requirements, as stated above.**
10. The survey and site plan must show all existing or proposed canopies and other encroachments, which will require the submission of an encroachment permit application to remain within the County right-of-way. Approval of an encroachment permit is subject to additional review by the Board of Chosen Freeholders. **Complete.**
11. The applicant must provide a plan showing pedestrian routes to/from Paterson Parking Authority off-site parking lots. **Complete.**

Passaic County Planning Board
202-206 Main Street Apartments (SP-19-025)
202-206 Main Street, Paterson
Block 4501, Lots 20 & 21

12. The applicant must provide the Corridor Enhancement Fee of \$1,000.00 payable to Passaic County. **Complete.**

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

Best Regards,



Jason Miranda
Senior Planner

Cc: Passaic County Engineer
Alan J. Mariconda, Esq.
Todd Zwigard Architects

202-206 Main Street Associates
WJG Architects, LLC
File



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

Michael Lysicatos AICP, PP
Director

PLANNING BOARD

TEL (973) 569-4040
FAX (973) 812-3450

October 31st, 2019

Paterson Board of Adjustment
125 Ellison Street
Paterson, NJ 07505

Re: Site Plan Review – 260-262 Main Street Apartments; 260-262 Main Street, Paterson; Block 4704, Lot 11 (Passaic County File Number SP-19-021)

Members of the Board,

The above referenced site plan dated February 25th, 2019, revised as of October 18th, 2019, was reviewed by the Passaic County Planning Board on October 30th, 2019 pursuant to the provisions of the Passaic County Site Plan Resolution.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file for all plans and reports.

This site plan application has been granted **conditional approval** pending receipt in an acceptable form of the following:

1. The name of the County must be included in the title block. **Complete.**
2. The name and address of the owner and the applicant must be noted on the plans. **Complete.**
3. The zoning table must include the total square footage of impervious coverage, existing and proposed. **Complete.**
4. The applicant must submit plans showing right-of-way width and all street improvements including utilities, lighting, signals, crosswalks, etc. The plans must include drainage. **Complete.**
5. The applicant must verify whether the cellar door along Market Street will be removed. If not, the cellar door must be shown on the site plan and the applicant must apply for an encroachment permit. For the permit to be considered by the Planning Board and the Board of Chosen Freeholders, the applicant must provide certification from a professional engineer that the vault can handle an HS-20 load. **The applicant must verify the status of the cellar door labelled “obsolete hatch” on the site plan.**

Passaic County Planning Board
260-262 Main Street Apartments (SP-19-021)
260-262 Main Street, Paterson
Block 4704, Lot 11

6. The applicant must verify the location of any vaults located below the sidewalk along Main and Market Streets. If there are any present, the sidewalk must be examined by a structural engineer and a structural report issued. **Complete.**
7. The survey and site plan must show all existing or proposed canopies and other encroachments, which will require the submission of an encroachment permit application to remain within the County right-of-way. Approval of an encroachment permit is subject to additional review by the Board of Chosen Freeholders. **Complete.**
8. The doors must be revised to either swing inwards or be recessed. They cannot swing into the County right-of-way. **Complete.**
9. The applicant must provide a plan showing pedestrian routes to/from Paterson Parking Authority off-site parking lots. **Complete.**
10. The applicant must provide the Corridor Enhancement Fee of \$3,189.00 payable to Passaic County. **Complete.**

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

Best Regards,



Jason Miranda
Senior Planner

Cc: Passaic County Engineer
Alan J. Mariconda, Esq.
Todd Zwigard Architects

262 Main Realty Corporation
WJG Architects, LLC
File



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

Michael Lysicatos AICP, PP
Director

PLANNING BOARD
TEL (973) 569-4040
FAX (973) 812-3450

October 31st, 2019

Passaic Planning Board
330 Passaic Street
Passaic, NJ 07055

Re: Site Plan Review – 620 Main Apartments; 620 Main Avenue, Passaic; Block 1131.A, Lot 30
(Passaic County File Number SP-19-045)

Members of the Board,

The above referenced site plan dated April 30th, 2019, revised as of October 18th, 2019, was reviewed by the Passaic County Planning Board on October 30th, 2019 pursuant to the provisions of the Passaic County Site Plan Resolution.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file for all plans and reports.

Approval of this site plan application has been **withheld** pending receipt in an acceptable form of the following:

1. The licensed professional signing the plans must also provide their seal on all plan sheets.
2. The right-of-way width of Main Avenue must be noted on the plans.
3. There is a discrepancy between the submitted survey and the site plan.
4. The applicant must clearly indicate any roof leaders and stormwater discharge. The note states that all drainage connects into the combined sewer system, but there is no combined sewer in Passaic.
5. There can be no door swings entering into the County right-of-way. All doors must either be recessed or designed to swing inwards.
6. The applicant must verify that there are no vaults beneath the Main Avenue sidewalk. If there are any, the vaults must be analyzed in a structural report and included in the encroachment permit application.
7. The applicant has submitted an encroachment permit for the canopies and the cellar door. For the cellar door, the applicant must also provide certification from a professional engineer that the door can handle an HS-20 loading.

Passaic County Planning Board
620 Main Apartments (SP-19-045)
620 Main Avenue, Passaic
Block 1131.A, Lot 30

8. The proposed fire escape within the Main Avenue right-of-way must be removed from the plans.

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

Best Regards,



Jason Miranda
Senior Planner

Cc: Passaic County Engineer
Alan J. Mariconda, Esq.
WJG Architects, LLC

620 Main Realty Corporation
Todd Zwigard Architects
File



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

Michael Lysicatos AICP, PP
Director

PLANNING BOARD
TEL (973) 569-4040
FAX (973) 812-3450

October 31st, 2019

Wayne Planning Board
475 Valley Road
Wayne, NJ 07470

Re: Minor Subdivision Review – Dalkilic Subdivision; 782 Alps Road, Wayne; Block 1301, Lot 28
(Passaic County File Number 19-008)

Members of the Board,

The above referenced subdivision plat dated August 29th, 2018, revised as of October 2nd, 2019, was reviewed by the Passaic County Planning Board on October 30th, 2019 pursuant to the provisions of the Passaic County Subdivision Resolution.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file of the plans on a standard compact disc media.

This minor subdivision application has been granted **conditional approval** pending receipt in an acceptable form of the following:

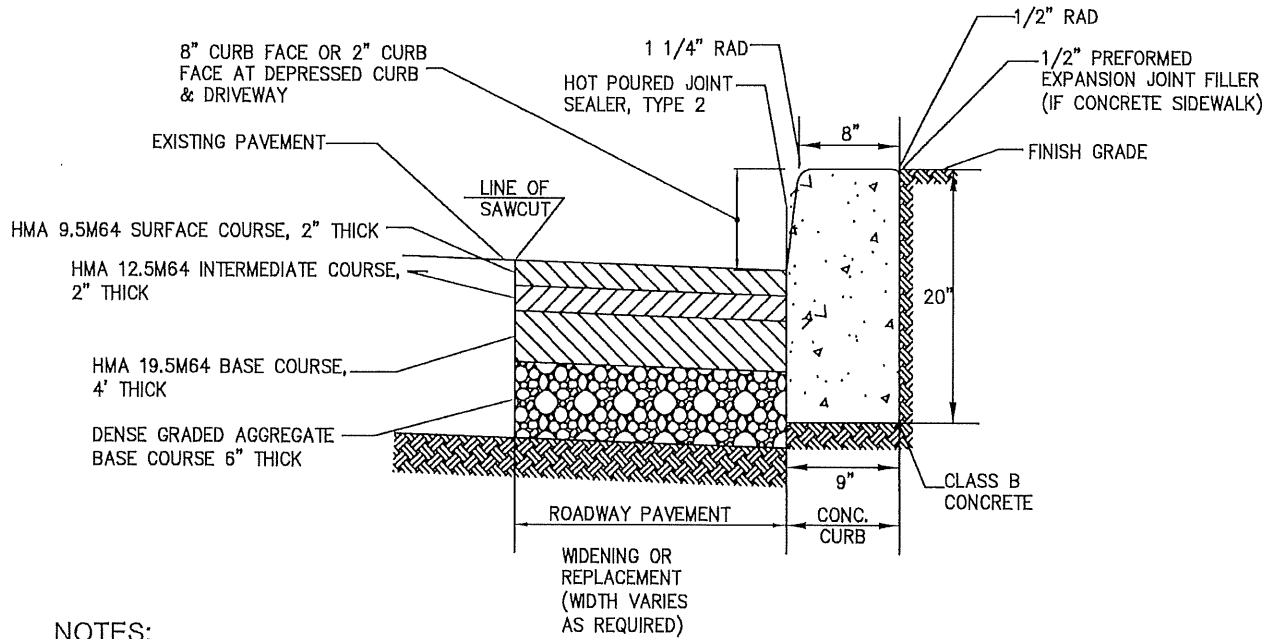
1. The Alps Road driveway must be a minimum of 16 feet in width.
2. The applicant must provide a County standard on-site turnaround at the Alps Road driveway.
3. The applicant must provide County standard curbing (see attached detail) along the Alps Road frontage of the property.
4. The applicant must provide a driveway profile for the proposed Alps Road driveway.
5. The applicant must submit the proposed right-of-way dedication, along with a metes and bounds description, along the Alps Road frontage of the property.

Best Regards,

Jason Miranda
Senior Planner

Cc: Passaic County Engineer
Awz Engineering, Inc.

Ali Dalkilic
File



NOTES:

1. MATERIALS AS INDICATED IN THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2007 EDITION.
2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20' APART AND SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.
3. WHERE PARALLEL PARKING IS PERMITTED ADJACENT TO CURB, CURB MAY BE 9"X18", WITH A 6" CURB FACE.

COUNTY OF PASSAIC
ENGINEERING DIVISION
STANDARD CONSTRUCTION DETAIL

DATE: MAY 2014

DESIGNED BY: T.M.

DRAWN BY: D.M.M./S.H.

CONCRETE VERTICAL CURB
AND
ROADWAY PAVEMENT WIDENING

NOT TO SCALE



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

PLANNING BOARD

TEL (973) 569-4040
FAX (973) 812-3450

Michael Lysicatos AICP, PP
Director

October 31st, 2019

Paterson Planning Board
125 Ellison Street
Paterson, NJ.07505

Re: Minor Subdivision Review – Paterson Parking Authority Subdivision; 143-173 Ward Street, Paterson; Block 6204, Lot 2 (Passaic County File Number 19-009)

Members of the Board,

The above referenced subdivision plat dated November 15th, 2017 was reviewed by the Passaic County Planning Board on October 30th, 2019 pursuant to the provisions of the Passaic County Subdivision Resolution.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file of the plans on a standard compact disc media.

This minor subdivision application has been granted **conditional approval** pending receipt in an acceptable form of the following:

1. The applicant must provide a cross-easement for access between the two proposed lots.
2. A deed restriction must be added to the subdivision: there shall be no access to Market Street from proposed Lot 2.
3. Approval of the application is conditional upon the approval of the related site plan application (SP-19-011).

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

Best Regards,

Jason Miranda
Senior Planner

Cc: Passaic County Engineer
Alan J. Mariconda, Esq.

Paterson Parking Authority
George J. Anderson, LLC

File



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

Michael Lysicatos AICP, PP
Director

PLANNING BOARD
TEL (973) 569-4040
FAX (973) 812-3450

October 31st, 2019

Clifton Board of Adjustment
900 Clifton Avenue
Clifton, NJ 07013

Re: Site Plan Review – Garden State Honda; 800 Route 3, Clifton; Block 80.01, Lot 11.02
(Passaic County File Number SP-19-042)

Members of the Board,

The above referenced site plan dated August 2nd, 2019 was reviewed by the Passaic County Planning Board on October 30th, 2019 pursuant to the provisions of the Passaic County Site Plan Resolution.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file of the plans on a standard compact disc media.

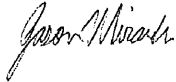
This site plan application has been granted **conditional approval** pending receipt in an acceptable form of the following:

1. The applicant must submit signed and sealed copies of the referenced survey by Piazza Engineering, dated January 20th, 2014.
2. The following signing and striping must be provided at the Allwood Road driveway:
 - a) A “STOP” sign;
 - b) A 12” stop bar, painted white;
 - c) A double yellow centerline; and
 - d) All striping must be noted as thermoplastic.
3. The applicant must provide information on expected truck traffic to the site, including the number of trucks per day and whether they will utilize the Allwood Road or Route 3 entrances. The radius at the Allwood Road driveway is not warranted by standard passenger vehicle traffic, and may need to be revised based on expected truck usage.

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

Passaic County Planning Board
Garden State Honda (SP-19-042)
800 Route 3, Clifton
Block 80.01, Lot 11.02

Best Regards,



Jason Miranda
Senior Planner

Cc: Passaic County Engineer
Frank Carlet, Esq.

GS Autoplex, LLC
Gregory J. Redington, P.E.

File



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

Michael Lysicatos AICP, PP
Director

PLANNING BOARD
TEL (973) 569-4040
FAX (973) 812-3450

October 31st, 2019

Clifton Board of Adjustment
900 Clifton Avenue
Clifton, NJ 07013

Re: Site Plan Review – Clifton Independent Senior Living; 784 Valley Road, Clifton; Block 44.01, Lot 14 (Passaic County File Number SP-19-043)

Members of the Board,

The above referenced site plan dated March 22nd, 2019, revised as of June 6th, 2019, and the temporary sales trailer plan dated July 8th, 2019, were both reviewed by the Passaic County Planning Board on October 30th, 2019 pursuant to the provisions of the Passaic County Site Plan Resolution.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file of the plans on a standard compact disc media.

Approval of this site plan application has been **withheld** pending receipt in an acceptable form of the following:

1. The zoning table must be revised to include the existing square footage of building and impervious coverage, in addition to the proposed square footage.
2. The applicant must submit signed and sealed copies of the referenced survey by Control Point Associates, dated March 25th, 2019.
3. The applicant must provide a cross-easement agreement, permitting access between the two properties (Lots 11 & 14).
4. The applicant must provide curbing (see attached detail) and sidewalk along the entire frontage of the property, connecting to the sidewalk on Lot 11.
5. The applicant must provide drainage calculations.
6. The applicant must provide additional shade trees along the frontage of the site, on the applicant's property.
7. The applicant must provide additional information on the proposed operations of the temporary sales trailer on Lot 14, including a timeline for construction and demolition. It

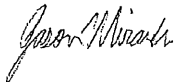
Passaic County Planning Board
Clifton Independent Senior Living (SP-19-043)
784 Valley Road, Clifton
Block 44.01, Lot 14

must be indicated when the sales trailer and driveway are to be removed during the construction process. The applicant must submit a developer's agreement including a "sunset" clause requiring the driveway and drainage to be removed after a specified amount of time.

8. For the duration of its use, the sales trailer driveway must be re-constructed to a standard, two-way driveway: 24 feet in width, a white stop bar, "STOP" sign, and double yellow centerline. Sight distance must be indicated on the plans.

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

Best Regards,

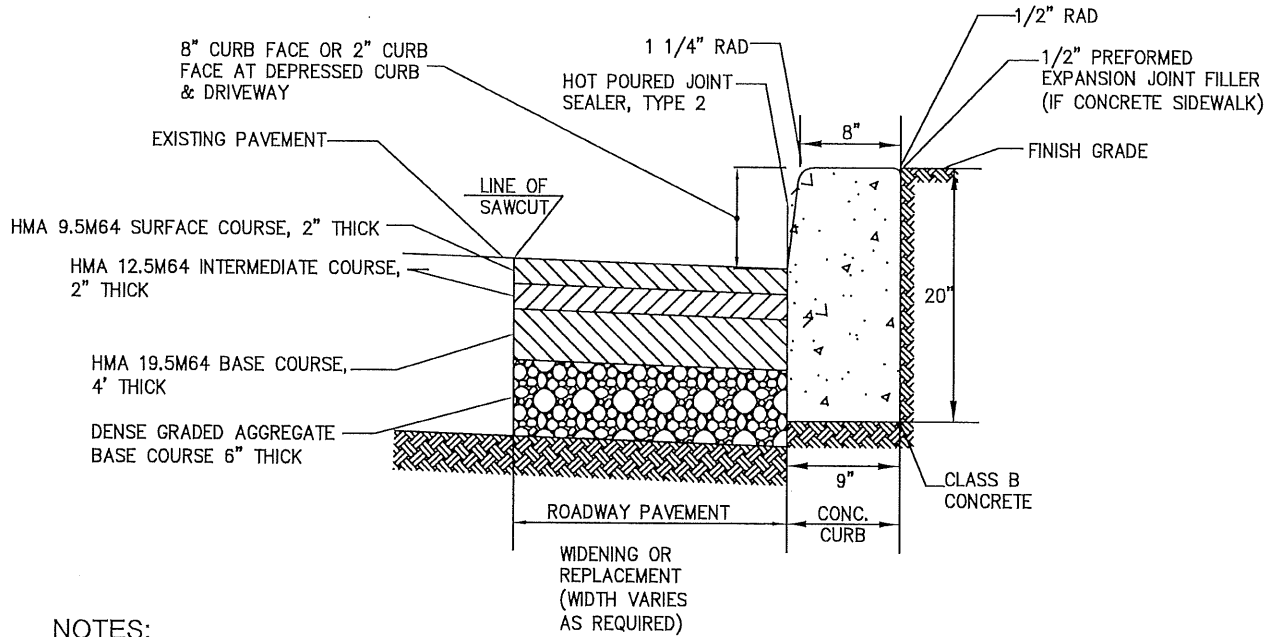


Jason Miranda
Senior Planner

Cc: Passaic County Engineer
Frank Carlet, Esq.

Clifton IL, LLC
Bohler Engineering

File



NOTES:

1. MATERIALS AS INDICATED IN THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2007 EDITION.
2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20' APART AND SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.
3. WHERE PARALLEL PARKING IS PERMITTED ADJACENT TO CURB, CURB MAY BE 9"X18", WITH A 6" CURB FACE.

COUNTY OF PASSAIC
ENGINEERING DIVISION
STANDARD CONSTRUCTION DETAIL

DATE: MAY 2014

DESIGNED BY: T.M.

DRAWN BY: D.M.M./S.H.

CONCRETE VERTICAL CURB
AND
ROADWAY PAVEMENT WIDENING

NOT TO SCALE



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

Michael Lysicatos AICP, PP
Director

PLANNING BOARD
TEL (973) 569-4040
FAX (973) 812-3450

October 31st, 2019

Totowa Planning Board
537 Totowa Road
Totowa, NJ 07512

Re: Site Plan Review – Totowa Animal Hospital; 819 Riverview Drive, Totowa; Block 171, Lot 6.01 (Passaic County File Number SP-19-044)

Members of the Board,

The above referenced site plan dated September 30th, 2019 was reviewed by the Passaic County Planning Board on October 30th, 2019 pursuant to the provisions of the Passaic County Site Plan Resolution.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file of the plans on a standard compact disc media.

Approval of this site plan application has been **withheld** pending receipt in an acceptable form of the following:

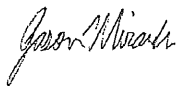
1. The boundary between Lot 5 and Lot 6.01 must be correctly labeled.
2. The applicant must submit signed and sealed copies of the referenced survey by Morgan Surveying dated February 27th, 2019.
3. The right-of-way width must be noted on the plans. If the width varies, all variations must be noted in the correct location.
4. The applicant must provide curbing (see attached detail) and sidewalk along the entire frontage of the site. The sidewalk must be consistent with the standards of the Morris Canal Greenway Feasibility Study.
5. The walkway from the building exit must connect to the requested sidewalk.
6. The southerly driveway shall be removed and replaced with full-height curbing. The northerly driveway can be designed for two-way traffic. The two parking spaces closest to Riverview Drive may remain, on the condition that they are designated and signed for use by employees only.

Passaic County Planning Board
Totowa Animal Hospital (SP-19-044)
819 Riverview Drive, Totowa
Block 171, Lot 6.01

7. The applicant must provide a raised apron (see attached detail), with sidewalk, at the northerly driveway.
8. The applicant must request a waiver to allow the northerly driveway to remain within 10 feet of the side property line. Any expansion of the driveway shall be on the side away from the property line.
9. The connection into the Riverview Drive drainage system must be removed from the plans. The applicant must address all drainage on-site.
10. There shall be no runoff into the Riverview Drive right-of-way.
11. The plans indicate a drainage easement adjacent to the northerly driveway. It must clarified what the easement is for and to whom it is being granted.
12. The applicant must provide shade trees along the frontage of the site.
13. The applicant must provide the Corridor Enhancement Fee of \$1,827.00 payable to Passaic County.

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

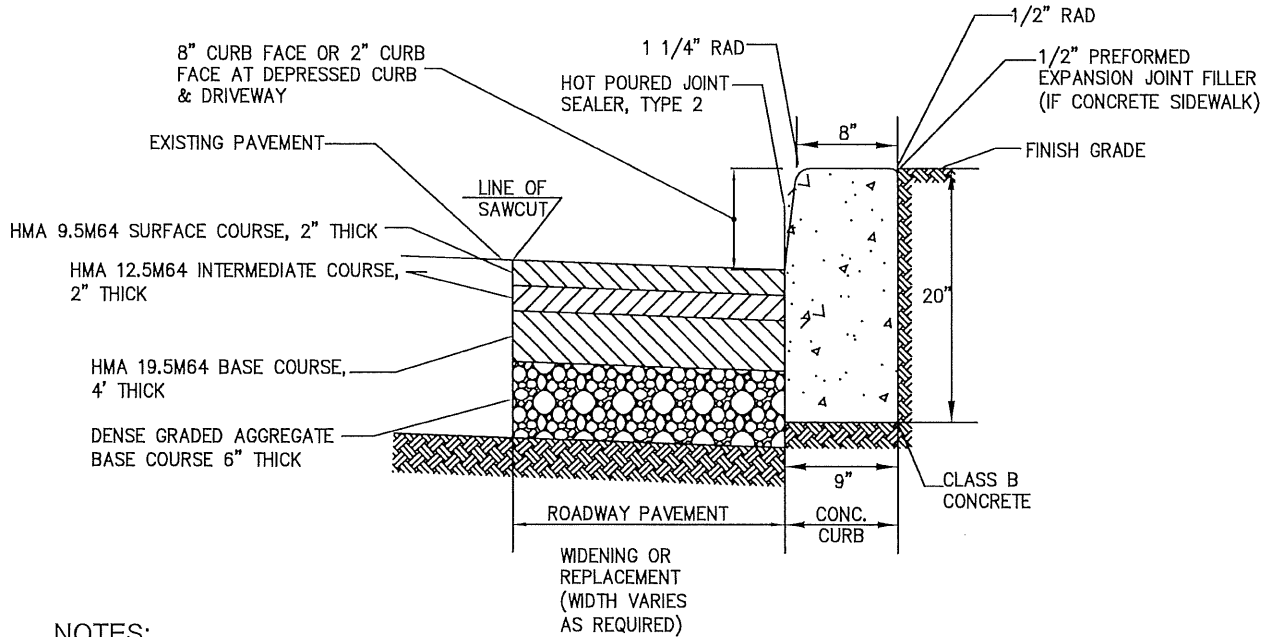
Best regards,



Jason Miranda
Senior Planner

CC: Passaic County Engineer
Onello Engineering

Adel Hamdan
File



NOTES:

1. MATERIALS AS INDICATED IN THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2007 EDITION.
2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20' APART AND SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.
3. WHERE PARALLEL PARKING IS PERMITTED ADJACENT TO CURB, CURB MAY BE 9"X18", WITH A 6" CURB FACE.

COUNTY OF PASSAIC
ENGINEERING DIVISION
STANDARD CONSTRUCTION DETAIL

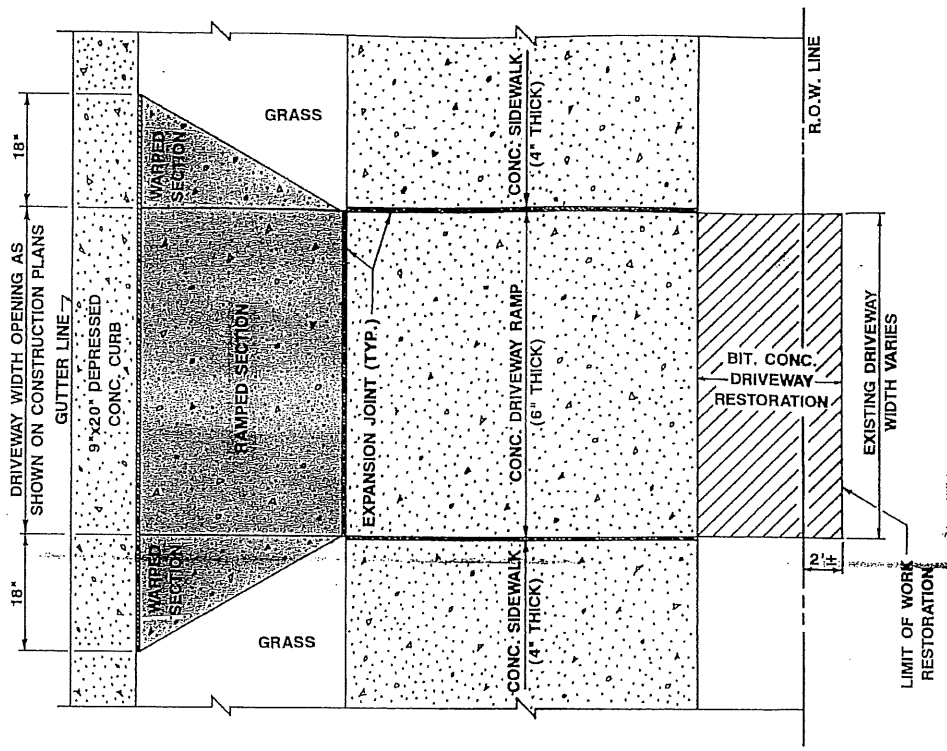
DATE: MAY 2014

DESIGNED BY: T.M.

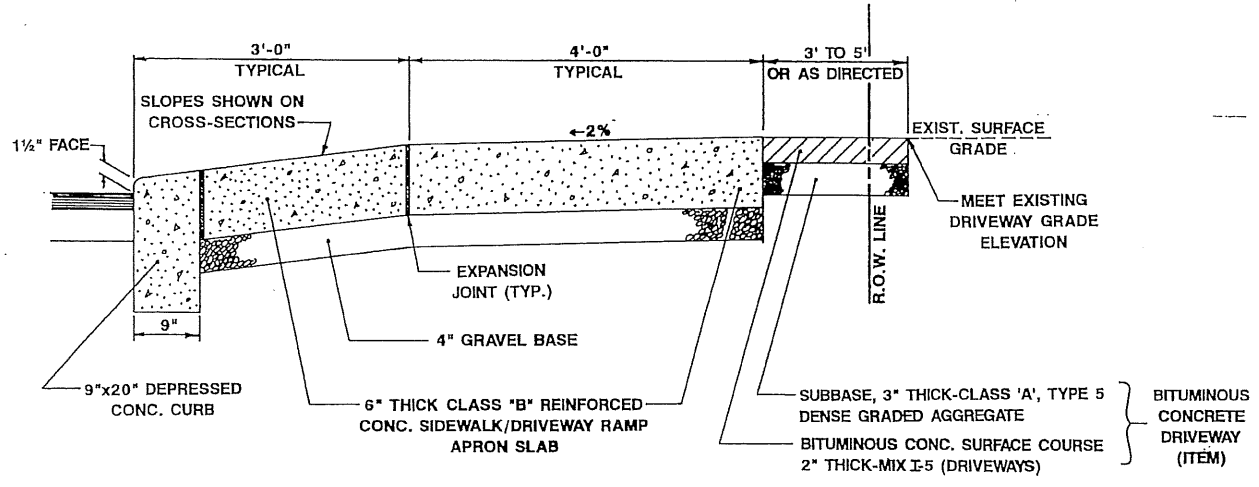
DRAWN BY: D.M.M./S.H.

CONCRETE VERTICAL CURB
AND
ROADWAY PAVEMENT WIDENING

NOT TO SCALE



PLAN



SECTION
SUPPLEMENTARY SIDEWALK AND DRIVEWAY APRON DETAILS

N.T.S.



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

Michael Lysicatos AICP, PP
Director

PLANNING BOARD
TEL (973) 569-4040
FAX (973) 812-3450

November 7th, 2019

Paterson Board of Adjustment
125 Ellison Street
Paterson, NJ 07505

Re: Site Plan Review – Rooming House; 414 Main Street, Paterson; Block 5901, Lot 11 (Passaic County File Number SP-17-054)

Members of the Board,

The above referenced site plan dated June 25th, 2014, revised as of September 9th, 2019, was reviewed by the Passaic County Planning Board on October 30th, 2019 pursuant to the provisions of the Passaic County Site Plan Resolution.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file of the plans on a standard compact disc media.

Approval of this site plan application has been **withheld** pending receipt in an acceptable form of the following:

1. The County does not permit new fire escapes within the County right-of-way. Although fire escapes are not addressed in the Site Plan Resolution, any proposed fire escape within the County right-of-way is subject to the approval of an encroachment permit by the Board of Chosen Freeholders in addition to any approval by the Planning Board. It is recommended that the applicant schedule a meeting with County staff for any further discussion of a proposed fire escape. **The Board has maintained that the fire escape must be removed the Main Street right-of-way, and that the applicant will need to utilize an alternative means of emergency egress. Staff will discuss the issue with municipal representatives to verify any requirements of the Board of Adjustment and local fire officials pertaining to emergency egress.**
2. The plans must clearly indicate how all roof drainage is handled. **Complete.**
3. The applicant must verify that there is no alternate access that does not require the continued presence of the cellar doors along the Main Street frontage. Provided that there is no alternate access, the applicant must provide certification from a professional engineer that the repaired cellar doors can handle an H15 loading. The applicant must also submit an encroachment permit application, as the cellar doors are located within the County right-of-way. The permit will require approval by the Board of Chosen Freeholders. **The applicant must verify whether the cellar door is to be removed. If so,**

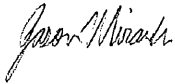
Passaic County Planning Board
Rooming House (SP-17-054)
414 Main Street, Paterson
Block 5901, Lot 11

it must be noted on the plans that it is to be removed and filled in during sidewalk replacement.

4. The blue sign overhanging the County right-of-way must be removed. **Complete.**
5. The applicant must provide the Corridor Enhancement Fee of \$500.00 payable to Passaic County. **Complete.**

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

Best Regards,



Jason Miranda
Senior Planner

Cc: Passaic County Engineer
Robert Eric, LLC

Robert Baum, Esq.
Michael Romanik

File



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

Michael Lysicatos AICP, PP
Director

PLANNING BOARD
TEL (973) 569-4040
FAX (973) 812-3450

October 31st, 2019

Paterson Board of Adjustment
125 Ellison Street
Paterson, NJ 07505

Re: Site Plan Review – U Metal; 219 Lafayette Street, Paterson; Block 2801, Lot 1 (Passaic County File Number SP-19-022)

Members of the Board,

The above referenced site plan dated October 26th, 2017, revised as of October 16th, 2019, was reviewed by the Passaic County Planning Board on October 30th, 2019 pursuant to the provisions of the Passaic County Site Plan Resolution.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file of the plans on a standard compact disc media.

This site plan application has been granted **conditional approval** pending receipt in an acceptable form of the following:

1. The title block has been added, but the owner and applicant information must be filled in. **Complete.**
2. The applicant must provide signed and sealed copies of the referenced survey by Anthony Maltese, PLS. **Complete.**
3. The applicant must provide justification for the proposed circulation pattern, with access along Lafayette Street and not Franklin Street. The applicant should consider one-way circulation, entering from Franklin Street and exiting onto Lafayette Street. **The Board has agreed to allow one-way access from Lafayette Street, with conditions. The applicant must provide signing for the proposed one-way circulation pattern: A two-faced “ONE WAY” sign and two “DO NOT ENTER” signs at the Lafayette Street driveway. Also, it must be noted on the site plan that the gate at the Lafayette Street driveway will remain open during business hours.**
4. The applicant has submitted drainage calculations. The calculations show the entire site as non-impervious surface. The calculations must account for all drainage for the entire site. The 2-year and 25-year storm water flows are shown as identical. The two referenced seepage pits are not shown on the plans. **The proposed berm is not sufficient, as stormwater will flow**

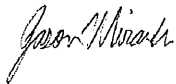
Passaic County Planning Board
U Metal (SP-19-022)
219 Lafayette Street, Paterson
Block 2801, Lot 1

around the berm and enter the roadway. The applicant must provide a trench drain or other facility to capture all runoff and handle on-site.

5. The applicant must provide the Corridor Enhancement Fee of \$3,080.00 payable to Passaic County. **Complete.**

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

Best Regards,



Jason Miranda
Senior Planner

Cc: Passaic County Engineer U Metal LLC Tavalacci Consulting LLC
Alan J. Mariconda, Esq. Matt Evans File



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

Michael Lysicatos AICP, PP
Director

PLANNING BOARD
TEL (973) 569-4040
FAX (973) 812-3450

November 7th, 2019

Clifton Board of Adjustment
900 Clifton Avenue
Clifton, NJ 07013

Re: Site Plan Review – Allwood Investment Co.; 955 Allwood Road, Clifton; Block 66.01, Lots 1 & 5 (Passaic County File Number SP-18-033)

Members of the Board,

The above referenced site plan dated July 20th, 2018, revised as of July 30th, 2019, was reviewed by the Passaic County Planning Board on August 22nd, 2019 pursuant to the provisions of the Passaic County Site Plan Resolution. At the meeting on October 30th, 2019, the Board amended the conditions in response to the correspondence from Clifton Fire Chief Frank S. Prezioso dated September 6th, 2019.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file of the plans on a standard compact disc media.

This amended site plan application has been granted **conditional approval** pending receipt in an acceptable form of the following:

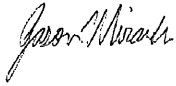
1. The proposed ingress and egress for the two driveways adjacent to the intersection of Allwood Road and Clifton Avenue is acceptable, under the following conditions:
 - a. Both driveways must be narrowed to a maximum width of 18 feet. The requested mountable curbs are acceptable and will accommodate turning fire vehicles, while the 18-foot width is required for standard vehicle traffic. The Board has requested that the applicant provide gated access, using knox boxes, for the fire lanes on the site. The fire lanes shall also be signed for emergency access only.
 - b. Both driveways must line up with the interior driveways that run between the buildings on the site.
 - c. The on-site circulation between the two driveways shall also be one-way. The one-way restriction will not be a barrier to fire vehicle access, as emergency vehicles will not be required to adhere to the restrictions in case of emergency.
 - d. The applicant must provide sidewalk, a minimum of 5 feet in width, and County standard curbing (see attached detail) between the two driveways.

Passaic County Planning Board
Allwood Investment Co. (SP-18-033)
955 Allwood Road, Clifton
Block 66.01, Lots 1 & 5

- e. Raised sidewalk must be constructed across both driveways, per attached detail.

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

Best Regards,



Jason Miranda
Senior Planner

Cc: Passaic County Engineer Allwood Investment Co. William Darmstatter, P.E.
Gerald G. Friend, Esq. File



County of Passaic

Department of Planning & Economic Development
930 Riverview Drive, Suite 250
Totowa, New Jersey 07512

www.passaiccountynj.org

Michael Lysicatos AICP, PP
Director

PLANNING BOARD
TEL (973) 569-4040
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October 31st, 2019

Paterson Planning Board
125 Ellison Street
Paterson, NJ 07505

Re: Site Plan Review – Prop. Child Care Facility; 315-321 Crooks Avenue, Paterson; Block 7712, Lot 11 (Passaic County File Number SP-18-050)

Members of the Board,

The above referenced site plan dated January 15th, 2019, revised as of October 9th, 2019, was reviewed pursuant to the provisions of the Passaic County Site Plan Resolution. On October 30th, 2019, the Passaic County Planning Board granted the applicant's waiver request to allow for both driveways to remain within 10 feet of the side property lines.

Passaic County Standards and Requirements: All submissions must consist of 2 paper copies plus a PDF digital file of the plans on a standard compact disc media.

This site plan application has been granted **conditional approval** pending receipt in an acceptable form of the following:

1. The total square footage of the area of disturbance must be noted on the plans. **Complete.**
2. The proposed pick-up and drop-off procedure is sufficient for drop-off, but may not be sufficient for pick-up procedures. The applicant must provide a written description stating how pick-up will occur and not adversely impact Crooks Avenue, including the availability of on-street parking on nearby side streets. **The proposed pick-up procedure is sufficient, but shall be included as a note on the site plan, Sheet SP-01.**
3. The applicant has requested a waiver to allow the proposed driveways within 10 feet of the side property lines. For this waiver to be considered by the Board, the applicant must provide information on delivery and fire vehicle access to the site. Additionally, any correspondence from the Paterson Fire Department must be submitted. **The waiver has been granted, on the condition that the driveways can be no closer to the side property lines than shown on the site plan: 5 feet at the westerly driveway and 6 feet at the easterly driveway.**
4. The plans must be revised to show two "NO STOPPING OR STANDING" signs, one on the applicant's side of the property line with Lot 12 and one 25 feet to the east of the exit

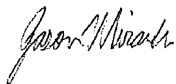
Passaic County Planning Board
Proposed Child Care Facility (SP-18-050)
315-321 Crooks Avenue, Paterson
Block 7712, Lot 11

driveway. **The sign details must be corrected to show the arrows pointing towards the driveway.**

5. Due to the general flatness of the site, the driveways must be graded at a minimum slope of 0.5% to allow stormwater to enter the proposed ponding area. The applicant must submit driveway profiles and note the high points for each driveway. **The grades provided on the plan do not match the indicated slope. The grades must be revised accordingly.**
6. The applicant must provide clarification on the location of the proposed footings, which must not encroach into the Crooks Avenue right-of-way. **The detail shows an underdrain within the County right-of-way. It must be verified where the drain daylight.**
7. The plans must be revised to include a landscaping table noting the species of the proposed shade trees, which must also be labelled on the plan. **Complete.**
8. The applicant must provide the Corridor Enhancement Fee of \$2,000.00 payable to Passaic County. **Incomplete.**

Subsequent submissions must include a cover letter indicating how each condition has been addressed. Plans submitted without a cover letter will be returned without review or comment.

Best Regards,



Jason Miranda
Senior Planner

Cc: Passaic County Engineer
Alan J. Mariconda, Esq.

315 Crooks Avenue, LLC
Heritage Madison Architecture, LLC

File